



Article XII Dale Summit FBC

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§200-60 GENERAL PROVISIONS

A. Applicability

- (1) Conflicting ordinances. All ordinances or parts of ordinances in conflict with this Article or inconsistent with its provisions, including, but not limited to, Sections (zoning, subdivision, signage, landscaping) of the township of college, are hereby repealed and superseded to the full extent necessary to give this Article full force and effect.
- (2) Rules of construction. The following general rules apply to regulations governing this Section:
 - (a) Numerical metrics take precedence over graphic metrics;
 - (b) The diagrams and illustrations within this Article, unless specifically noted as advisory, are considered regulatory in nature and are legally binding; and
 - (c) The definition of a term in Article XX takes precedence over the definition of the same term elsewhere in the Township Of College SS200-7. where will new definitions reside
 - (d) Terms used throughout this Section may be defined in Article XX. Those terms not defined in Article XX are according to their commonly accepted meanings.

B. Intent

- (1) The intent and purpose of this Article is to enable, encourage and qualify the implementation of the following policies:
 - (a) The community:
 - [1] That neighborhoods, corridors, town centers, and urban centers should be compact, pedestrian-oriented and mixed use.
 - [2] That neighborhoods, town centers, and urban centers should be the preferred pattern of development and that districts specializing in a single use should be the exception.
 - [3] That ordinary activities of daily living should occur within walking distance of most dwellings, as much as is feasible, allowing independence to those who do not drive.
 - [4] That interconnected networks of thoroughfares should be designed to disperse traffic and reduce the length of automobile trips.
 - [5] That within neighborhoods, a range of housing types and price levels should be provided to accommodate diverse ages and incomes.
 - [6] That civic, institutional, and commercial activity should be embedded in the town center and neighborhoods, not isolated in remote single-use complexes.
 - [7] That schools should be sized and located to enable children to walk or bicycle to them.
 - [8] That a range of open space should be distributed within neighborhoods and the town center.
 - (b) The block and the building:
 - [1] That buildings and landscaping should contribute to the physical definition of thoroughfares as civic places.
 - [2] That development should adequately accommodate automobiles while prioritizing the pedestrian, the bicyclist, and the spatial form of public areas.
 - [3] That architecture and landscape design should grow from local climate, topography, history, and building practice.
 - [4] That buildings should provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - [5] That civic buildings and public gathering places should be provided as locations that reinforce community identity.

- [6] That civic buildings should be distinctive and appropriate to a role more important than the other buildings that constitute the fabric of the city.
- [7] That the preservation and renewal of historic buildings should be facilitated, to affirm the continuity and evolution of society.

(c) The District

- [1] That communities should provide meaningful choices in living arrangements as manifested by distinct physical environments.
- [2] That the zoning district descriptions in Section “[C. Zoning Districts Established](#)” constitute the intent of this article with regard to the general character of each of these environments.

C. Zoning Districts Established

(1) Zoning under this sub-section is limited to the following district designations.

- (a) **Natural Preserve (NP):** This district consists of lands approximating or reverting to a wilderness condition, including lands unsuitable for settlement due to topography, hydrology or vegetation. Public parks may occur, but general development is prohibited.
- (b) **Neighborhood Mixed-Use (NMU):** This district consists of mid-density mixed-use buildings that accommodate retail, offices, light industrial, multi-family, townhouses, and single-family. It has a connected network of thoroughfares, with generous sidewalks, street tree planting, and buildings set close to the sidewalks.
- (c) **Mixed-Use Center (MUC):** This district consists of higher density mixed-use buildings that accommodate retail, offices, light industrial, multi-family, and townhouses. It makes up the core of the neighborhood and incentivizes compact development in exchange for public amenities. It has a connected network of thoroughfares, with generous sidewalks, street tree planting, and buildings set close to the sidewalks.
- (d) **Special Districts (SD):** Areas that, by their intrinsic size, function, or configuration, cannot conform to the requirements of any zoning district or combination of zones are designated as special districts. SD is available for industrial and manufacturing areas, and areas with a high concentration of office and light industrial uses. SDB is limited to a maximum size of 120 acres. SDB may be mapped adjacent to NMU, MUC, and SDB.
- (e) **Business Special Districts (SDB):** Areas that, by their intrinsic size, function, or configuration, cannot conform to the requirements of any zoning district or combination of zones are designated as special districts. SDB is available for areas with a high concentration of office and light industrial uses. SDB is limited to a maximum size of 10 acres. SDB may be mapped within or adjacent to NMU, MUC, and SD.

D. Nonconformities & Existing Buildings

- (1) Any nonconforming lot, structure or use are subject to the regulations set forth in [Article IX](#).
- (2) The modification of existing buildings is permitted by right if such changes result in greater conformance with the specifications of this Section.
- (3) The restoration or rehabilitation of an existing building will not require the provision of:
 - (a) Parking in addition to that existing; and
 - (b) On-site stormwater retention/detention in addition to that existing, unless otherwise required by county or state code.

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§200-61 SUBDIVISION STANDARDS

A. General

- (1) Regulating Plan
 - (a) Applications shall adhere to “[Figure 16. Regulating Map](#)”, and the following:
 - [1] Subdivision Standards
 - [2] Zoning Regulations
 - [3] Thoroughfares

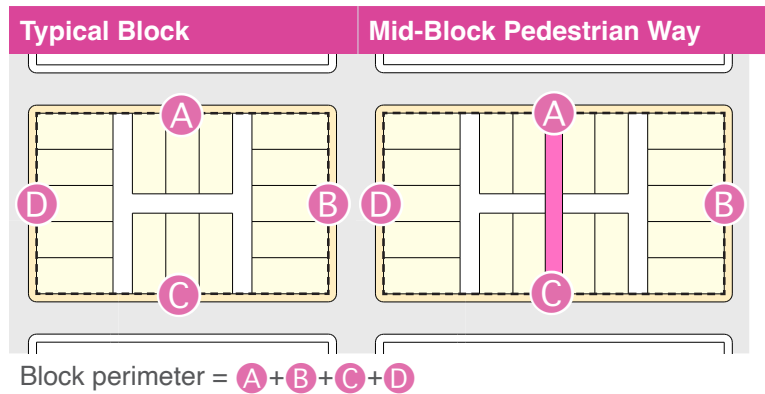
B. Transportation Standards

- (1) Right-of-way network
 - (a) Rights-of-way are intended for use by pedestrians, bicyclists, public transportation vehicles, trucks and delivery vehicles, and personal vehicles to provide access to lots and civic space.
 - (b) All rights-of-way shall terminate at other rights-of-way, forming a network.
 - (c) The spacing of rights-of-way is limited by the maximum block perimeter in accordance with Section “[C. Block Standards](#)”.
 - (d) Cul-de-sacs may be permitted where natural constraints limit the ability to terminate on other rights-of-way.
 - (e) The right-of-way network should connect to properties outside of the application area and provide right-of-way stubs for connections to future development on adjacent undeveloped land.
 - (f) Roadway assemblies shall be designed in context with the urban form and mode share of the zoning districts through which they pass. The specific design of rights-of-way is regulated by “[§200-63 Thoroughfares / ROW](#)”.
- (2) Pedestrian network
 - (a) Within NMU and MUC a continuous pedestrian network shall provide access to all lots and civic space.
- (3) Bicycle network
 - (a) A bicycle network shall be provided, connecting to existing bicycle networks, regional open space, existing trail networks, schools, and the main civic spaces.
 - (b) The bicycle network may consist of dedicated and shared bicycle facilities specified in the transportation element as well as roadway assemblies with a design speed of 30 mph or less.

C. Block Standards

- (1) All developable land within the application area shall be divided into blocks, except land in NP, infrastructure or recreational corridors, and land directly abutting an interstate highway.
- (2) Block perimeters are to be defined by rights-of-way or pedestrian ways.
- (3) Block perimeters are limited to 2400 feet in length, except as follows:
 - (a) Special districts may be exempt in accordance with special district standards;
 - (b) Blocks containing more than 50% civic space are exempt;
 - (c) Blocks at the perimeter of the planning area may be exempt if connections cannot be made to adjacent properties;
 - (d) Blocks abutting County or State roadways where access is limited are exempt; and
 - (e) Blocks abutting natural waterways, preservation areas, and slopes greater than 10% are exempt.
- (4) Blocks with a perimeter exceeding 2000 feet shall include a pedestrian way traversing the block from the frontage of greatest length.

FIGURE 1. BLOCK PERIMETER



D. Zoning Standards

- (1) All developable land not assigned a special district shall be assigned a zoning district.
- (2) Transitions between districts should occur at rear lot lines and side lot lines, they should not occur across rights-of-way.
- (3) Zoning districts are mapped according to "Figure 16. Regulating Map".

FIGURE 2. ZONING TRANSITIONS

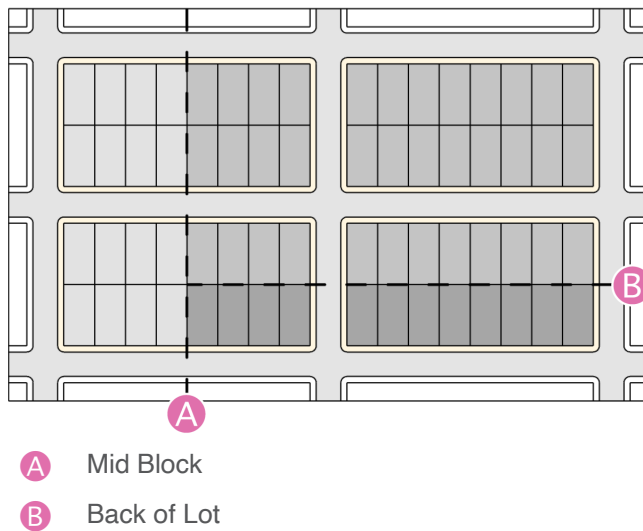
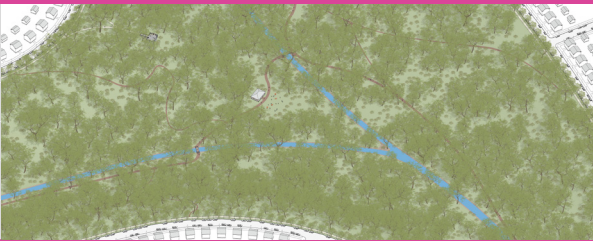





TABLE 1 CIVIC SPACE TYPES

Conservation Park		
Transect District	NMU	
Size in acres	8 min.	
Proportion	N/A	
Edge condition	N/A	
Surface	Planted, pervious paths and maintenance roads	
Buildings	Pavilions and picnic areas	
Neighborhood Multipurpose Field		
Transect District	NMU	
Size in acres	2 min., 10 max.	
Proportion	1:5 max.	
Edge condition	Rights-of-way required on two sides, min.	
Surface	Planted, sports fields and courts, paved 20% max.	
Landscape	20 foot landscape zone at perimeter, canopy trees required. Fields may serve secondary purpose as stormwater management.	
Park		
Transect District	NMU	
Size in acres	5 min.	
Proportion	1:5 max.	
Edge condition	Rights-of-way required on all sides	
Surface	Planted, pervious and non-pervious paths, paved gathering spaces, sports facilities	
Buildings	Pavilions, picnic areas, storage, rest rooms, food service	
Greenway		
Transect District	NMU	
Size in feet	50 min. in width, 1,000 min. in length	
Proportion	N/A	
Edge condition	Rights-of-way or pedestrian way required on one side, min.	
Surface	Lawn, paved 20% max.	
Landscape	20% mature canopy required	

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TABLE 1 CIVIC SPACE TYPES

Green		
Transect District	NMU, MUC	
Size in acres	1/2 min., 5 max.	
Proportion	N/A	
Edge condition	Right-of-way required on at least one side	
Surface	Planted, paved 15% max., pervious paving recommended	
Landscape	40% mature canopy required	
Square		
Transect District	NMU, MUC	
Size in acres	1/4 min., 4 max.	
Proportion	1:5 max.	
Edge condition	Rights-of-way required on two sides, min.	
Surface	Paved 50% max., pervious paving recommended	
Landscape	30% mature canopy required	
Plaza		
Transect District	NMU, MUC	
Size in acres	1/8 min., 3 max.	
Proportion	1:4 max.	
Edge condition	Rights-of-way required on two sides, min.	
Surface	Paved 50% min., pervious paving recommended	
Landscape	20% mature canopy required	
Buildings	Pavilions, storage, rest rooms, food service, vending	
Pocket Park		
Transect District	NMU, MUC	
Size in square feet	2,000 min., 8,000 max.	
Proportion	1:5 max.	
Edge condition	Rights-of-way or pedestrian way required on one side, min.	
Surface	Planted, play equipment, paved 30% max.	
Landscape	40% mature canopy required	
Pedestrian Passage		
Transect District	NMU, MUC	
Size in acres	N/A	
Width	8 ft. min.	
Surface	Continuous paved walkway required, seating and gathering places encouraged, planted opportunistically	

TABLE 2 USES WITHIN CIVIC SPACES

Use	Conservation Park	NBHD Multipurpose Field	Park	Greenway	Green	Square	Plaza	Pocket Park	Passage (mid-block)
Active Recreation									
Athletic Fields (structured)	■	■	■	■					
Athletic Fields (unstructured)	■	■	■	■	■	■			
Camping	■								
Community Garden	■		■	■	■			■	
Dog Park	■	■	■	■	■	■		■	
Exercise Equipment	■	■	■	■	■	■		■	
Fishing	■		■	■					
Off-road Vehicles									
Performance space	■	■	■		■	■	■		
Playground	■	■	Req	■	■	■		■	
Paths (walking)	Req		Req	Req	■	Req	Req	Req	Req
Paths (cycling)	■	■	Req	Req	■	■	■	■	■
Specialized sports facilities	■	■	■						
Skate Park	■	■	■		■	■	■		
Swimming Pool	■	■	■		■	■			
Passive Recreation									
Conservation Area	Req		■	■	■	■		■	
Concerts		■	■		■	■	■		
Farmers Market		■	■	■	■	■	■	■	■
Festivals		■	■		■				
Furniture Games		■	■	■	■	■	■	■	■
Outdoor Dining			■		■	■	■	■	■
Food Sales			■		■	■	■		■
Public Art	■		■	■	■	■	■	■	■
Other Uses									
Restroom	Req		Req	■	■	■	■		
Water Features			■	■	■	■	■	■	■

■ Permitted

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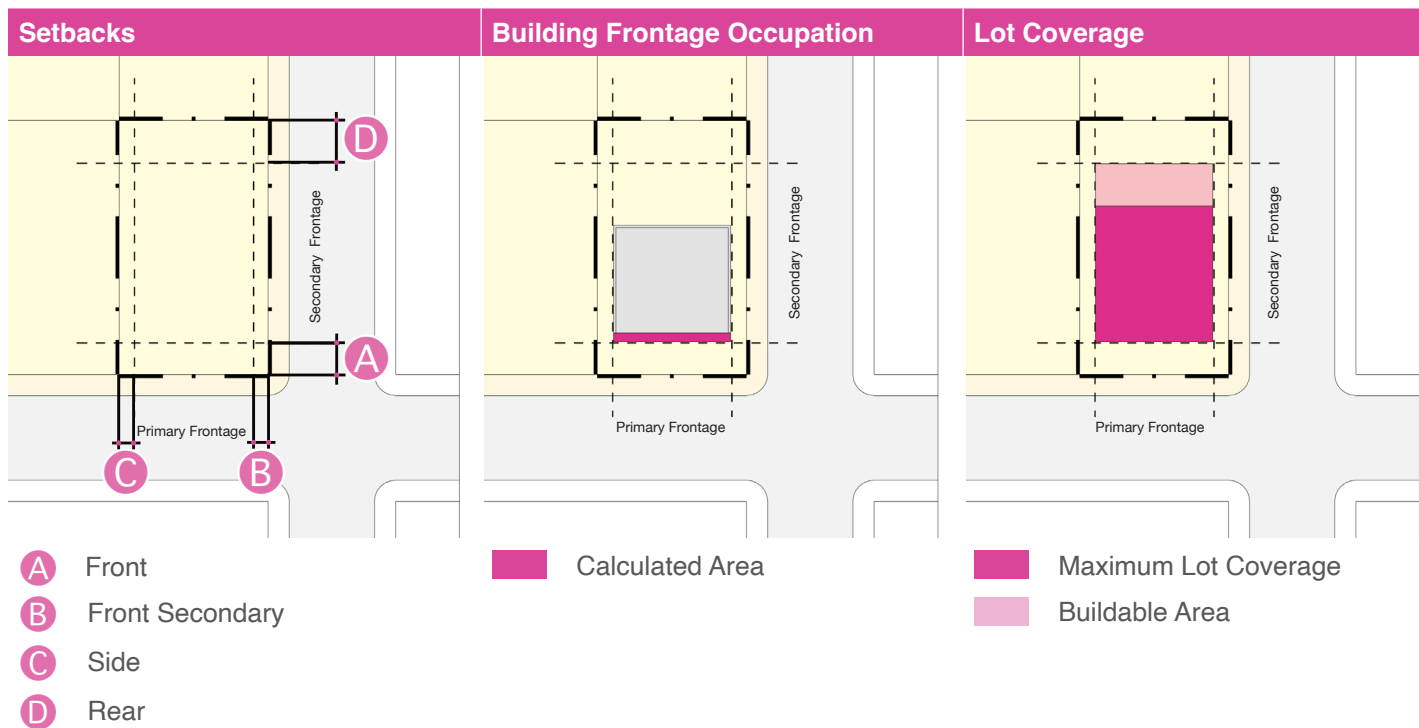
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§200-62 ZONING REGULATIONS

A. Building Placement

- (1) Structures shall be set back from lot boundaries as specified in “Figure 4. Lot Occupation”, “Table 8 Form standards summary”, and as follows:
 - (a) Front specifies the setback from the lot line associated with the address;
 - (b) Front secondary specifies the setback from any lot line abutting a street other than the front lot line;
 - (c) Where there are multiple structures on one lot, the front secondary maximum setback applies to only the nearest structure;
 - (d) Side specifies the setback from side lot lines other than those qualifying for a front secondary setback;
 - (e) Rear specifies the setback from the rear lot line, except where abutting an alley; and
 - (f) Rear alley specifies the setback from the rear lot line in instances that it abuts an alley.
- (2) Elements that project from facades are permitted to encroach into setbacks as specified in “C. Encroachments”.
- (3) Buildings shall occupy a minimum percentage of the lot width within the front setback, excluding the width of required side and Front Secondary setbacks.
- (4) Utility easements may cause buildings to exceed maximum setbacks and may require additional setbacks.
- (5) Buildings and covered structures are limited in the total area they may occupy as a percentage of the net lot area as specified in “Figure 4. Lot Occupation” and “Table 8 Form standards summary”.

FIGURE 4. LOT OCCUPATION




B. Setback Requirements


- (1) Setback requirements regulate the following:
 - (a) Minor and major encroachments into Front and Front Secondary setbacks and the right-of-way.
 - (b) Yards between Front and Front Secondary lot lines and building facades nearest those lot lines.
- (2) Yards within the setback may be configured according to “[Table 3 Yards in Setbacks](#)”;

TABLE 3 YARDS IN SETBACKS


No Yard	
Zone	NMU, MUC
A Setback	4' max.
B Encroachment	100% of the setback and into the ROW
Surface	Paved, unit paver or to match sidewalk
Fencing	None




Urban Yard	
Zone	NMU, MUC
A Setback	8' max.
B Encroachment	up to 8 ft. or 60% of the setback
Surface	Landscaped
Fencing	Optional



Shallow Yard	
Zone	NMU, MUC
A Setback	12' max.
B Encroachment	up to 8 ft. or 60% of the setback
Surface	Landscaped
Fencing	Optional



Common Yard	
Zone	NMU
A Setback	12' min.
B Encroachment	up to 8 ft.
Surface	Landscaped
Fencing	None



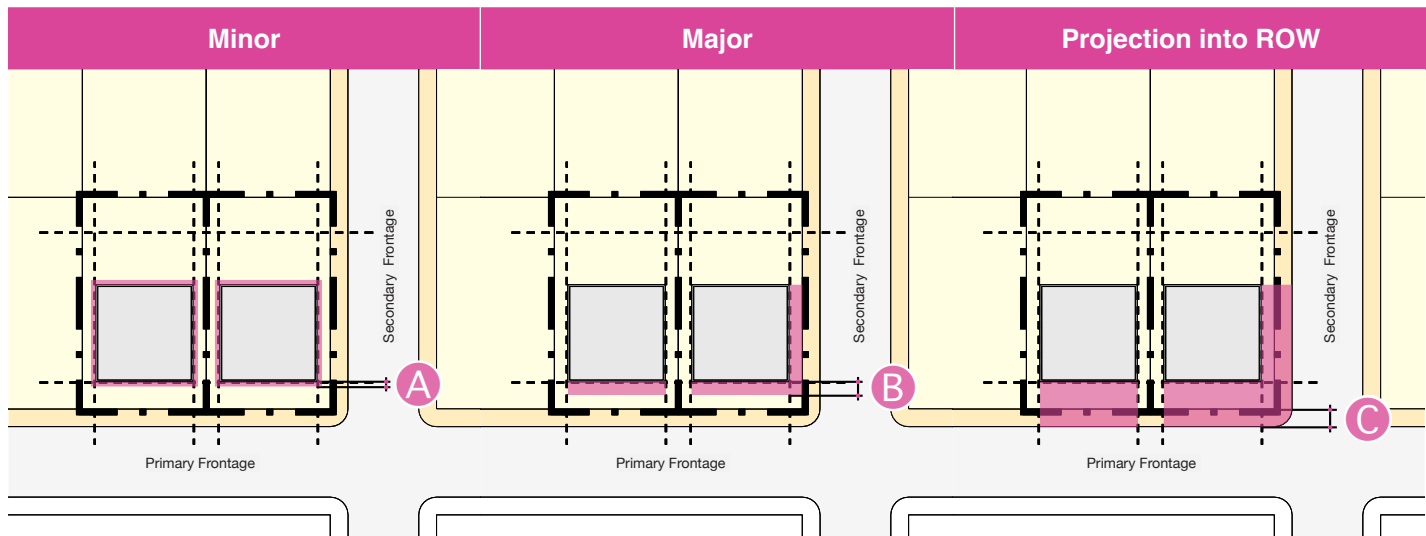
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C. Encroachments

- (1) Minor facade elements may encroach into setbacks as follows:
 - (a) Roof overhangs, cornices, window and door surrounds, and other facade decorations may encroach into setbacks up to 2 feet beyond the structure they are attached to; and
 - (b) Minor facade elements shall not encroach into rights-of-way.
- (2) Major facade elements may encroach into setbacks according to “Figure 5. Encroachments Into Setbacks / Projections Into Right Of Way” and the following:
 - (a) Major facade elements include: bay windows, bow windows, display windows, balconies, stoops, porches, awnings, canopies, galleries, arcades, outdoor seating.
 - (b) Awnings, canopies, galleries, colonnades, arcades, and outdoor seating may project into the right-of-way, according to Section “D. Projections into the Right-of-way” and “Table 4 Major Encroachment Elements”.
- (3) Ground floor retail uses may utilize the public sidewalk for seating, serving, displays of merchandise, and other business related activities provided a 5 foot clear pedestrian path is maintained.

FIGURE 5. ENCROACHMENTS INTO SETBACKS / PROJECTIONS INTO RIGHT OF WAY



D. Projections into the Right-of-way

- (1) Projections into the right-of-way shall be permitted within Dale Summit FBC as an exception to §177-52.
- (2) Projections into the right-of-way shall meet minimum clearance requirements and shall be limited as follows:
 - (a) Projections are limited to “Table 4 Major Encroachment Elements” and the following
 - (b) Shopfronts may include awnings or canopies as follows:
 - [1] Awnings shall be according to “Figure 6. Awning” and:
 - [i] Awnings shall be fabric;
 - [ii] Awnings may be movable;
 - [iii] Awnings shall extend a minimum of 6 feet from the building facade (A), with the exception of awnings over doorways which shall not be deeper than they are wide;
 - [iv] Awnings shall be set back from the curb a minimum of 2 feet (B);
 - [v] A minimum of 10 foot clearance shall be maintained above the sidewalk; and

- [vi] Awnings shall span the shopfront area up to 80% of its width without gaps, except between tenants.
- [vii] Awnings shall be open on the ends and shall not have a cross-webbing structure.
- [2] Canopies shall be according to “Figure 7. Canopy” and:
 - [i] Canopies shall be metal, or wood.
 - [ii] Canopies shall be fixed in place.
 - [iii] Canopies shall extend a minimum 6 feet from the building facade up to 2 feet from the curb.
 - [iv] Canopies shall be a minimum 12 feet wide.
 - [v] Canopies shall maintain a minimum vertical clearance of 10 feet from the sidewalk.
 - [vi] Canopies shall be a maximum 14 feet in height and shall be located below the floor of the second story.

FIGURE 6. AWNING

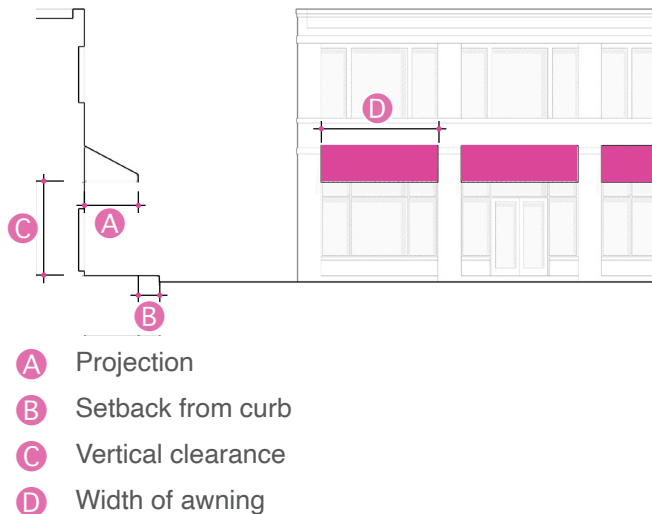
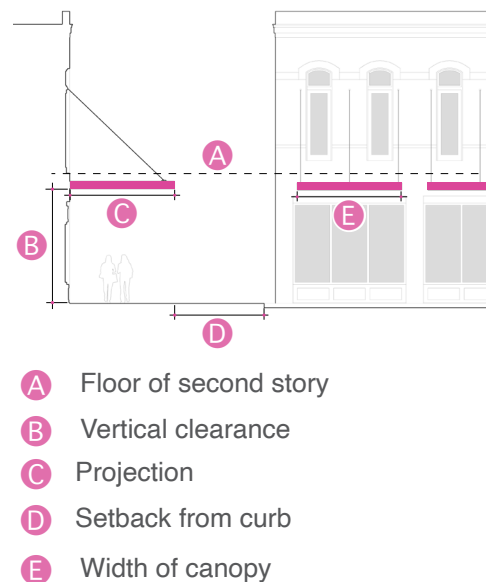


FIGURE 7. CANOPY



(c) Arcades and Colonnades

- [1] Colonnades, and Arcades may extend fully over the sidewalk up to 2 feet from the curb, according to “Table 4 Major Encroachment Elements”.

(d) Galleries;

- [1] Galleries shall be according to “Table 4 Major Encroachment Elements” and shall extend fully over the sidewalk up to 2 feet from the curb.

(e) Stoops and Porches:

- [1] Stoops and porches may extend into the setback according to “Table 4 Major Encroachment Elements”.

(f) Outdoor Seating & Dining

- [1] Outdoor dining may encroach into the public right-of-way up to 2 feet of the curb and shall maintain a minimum 5 foot clear pedestrian path.

- (3) All outdoor electrical, plumbing, and mechanical equipment shall be located behind the front facade or concealed from street view with a screen or wall. These facilities may not encroach into any setback.

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TABLE 4 MAJOR ENCROACHMENT ELEMENTS

Arcade / Colonnade			
A	Setback	N/A	
B	Encroachment / Projection	Building and Arcade to within 2 ft. of the curb; Outdoor display, bay and display windows 100% of the setback; Seating by permit	
C	Horizontal Clear	8' min.	
D	Vertical Clear	10' min.	
	Special Conditions	Utility coordination required	
Gallery			
A	Setback	6' max.	
B	Projection	Gallery to within 2 ft. of the curb; Outdoor display, bay and display windows 100% of the setback; Seating by permit	
C	Horizontal Clear	8' min.	
D	Vertical Clear	10' min.	
	Special Conditions	Utility coordination required	
Awning/Canopy			
A	Setback	N/A	
B	Encroachment	Awning/Canopy to within 2 ft. of curb	
C	Horizontal Clear	6' min.	
D	Vertical Clear	10' min.	
	Special Conditions	Clearance requirements per Public Works	

TABLE 4 MAJOR ENCROACHMENT ELEMENTS

Stoop			
A	Setback	3' min.	
B	Encroachment	Landing, cover, and stairs up to 100% of setback	
C	Horizontal Clear	Landing 5' min.	
D	Vertical Clear	Porch 8' min.	
	Special Conditions	Stoop shall be engaged into the building volume	
Porch			
A	Setback	10' min.	
B	Encroachment	Porch up to the greater of 8 ft. or 60% of the setback	
C	Horizontal Clear	Porch 8' min.	
D	Vertical Clear	Porch 8' min.	
	Special Conditions	None	

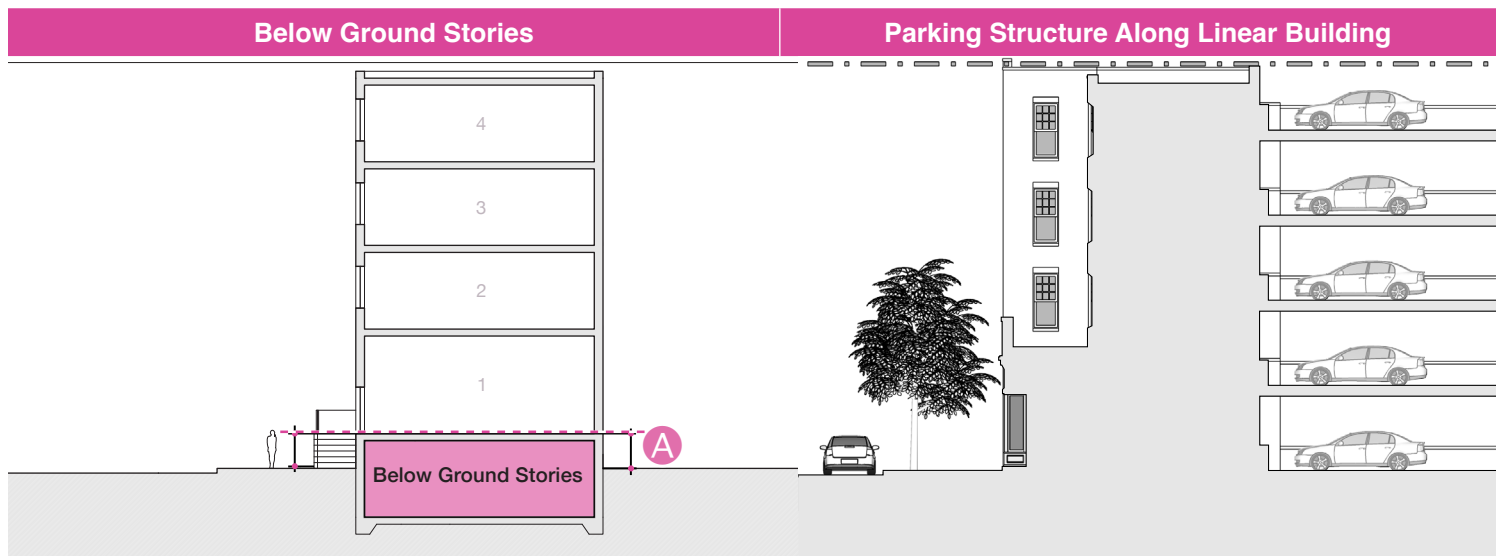
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E. Building Height

- (1) Building height is limited according to “Table 8 Form standards summary”, measured as follows:
 - (a) Building height is measured in stories above sidewalk grade adjacent to the principal building entrance. Exceptions include:
 - [1] Lots which have a slope greater than 10% shall measure their height based on the average height of the lot perimeter.
 - [2] Buildings shall not exceed 2 stories above the maximum height regardless of slope and average lot height, as viewed from the adjacent public frontage.
 - (b) Stories are measured from finished floor to finished ceiling;
 - (c) Stories are limited to 14 feet high;
 - (d) Stories exceeding 14 feet are counted as one story for every 14 feet;
 - (e) For non-residential and mixed-uses:
 - [1] Ground floor stories shall be 11 feet in height or greater;
 - [2] Ground floor stories may be up to 25 feet;
 - [3] Ground floors exceeding 25 feet in height are counted as one story for every 14 feet; and
 - [4] Mezzanines extending beyond 50% of the ground floor area are counted as an additional story;
 - (f) Below ground stories do not count toward building height provided they do not extend more than 4 feet above sidewalk grade at any point; and
 - (g) Height limits do not apply to attics, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.
- (2) Parking structure height is limited according to the following:
 - (a) Parking structure height is measured in feet above average adjacent grade; and
 - (b) Parking structures are limited in height to the eave or parapet of the liner building.

FIGURE 8. BUILDING HEIGHT



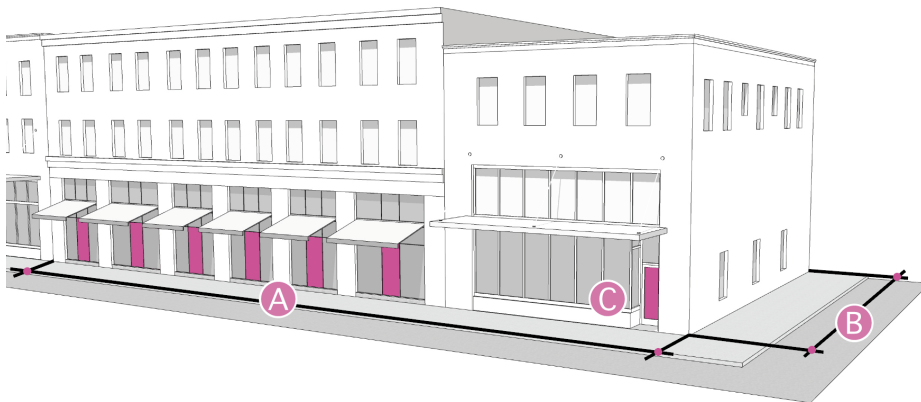
A Maximum height above ground

F. Building Elevations

(1) Entry Frequency

- (a) Buildings located within 30 feet of streets, pedestrian ways, and civic spaces shall comply with the following:
 - [1] Building entries (A) shall be provided from streets and civic spaces at the minimum frequency of 80 feet;
 - [2] Buildings on corner lots are exempt from entry frequency requirements along the secondary frontage if the facade is less than 75 feet in length (B); and
 - [3] Entries may be recessed from the facade up to 8 feet in depth (C).
- (b) Blank walls visible from the public sidewalk shall not exceed 50 linear feet. Walls along interior side lot lines are exempt from this requirement.

FIGURE 9. BUILDING ENTRY FREQUENCY



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(2) Glazing

- (a) Facades shall meet the minimum clear glass requirements of “Figure 10. Measurement Of Glazing” and as follows:
- [1] Glass percentage is calculated individually for each facade and is measured between two and ten feet in height above grade (A) along the length of the facade (B), as illustrated in “Figure 10. Measurement Of Glazing”;
 - [2] The entire frame and structure of doors, windows, and storefront systems are considered glass for this calculation;
 - [3] Shopfronts shall have a minimum of 70% clear glass; and
 - [4] Tinted, mirrored and reflective glass, and glass covered by screening sheets, white, or UV protection film are prohibited.

FIGURE 10. MEASUREMENT OF GLAZING



(3) Forecourts

- (a) Buildings may exceed the maximum setback where a forecourt is provided along the front property line or the corner of corner properties, subject to the following:
- [1] Forecourts are limited to a maximum of 1,600 sq.ft. in area;
 - [2] Forecourts are limited to a maximum of 40% of the property width;
 - [3] Glazing requirements, entry requirements, and active interior space requirements for front property line adjacent building elevations apply to all building elevations along the forecourt; and
 - [4] 60% of the forecourt surface must be paved.

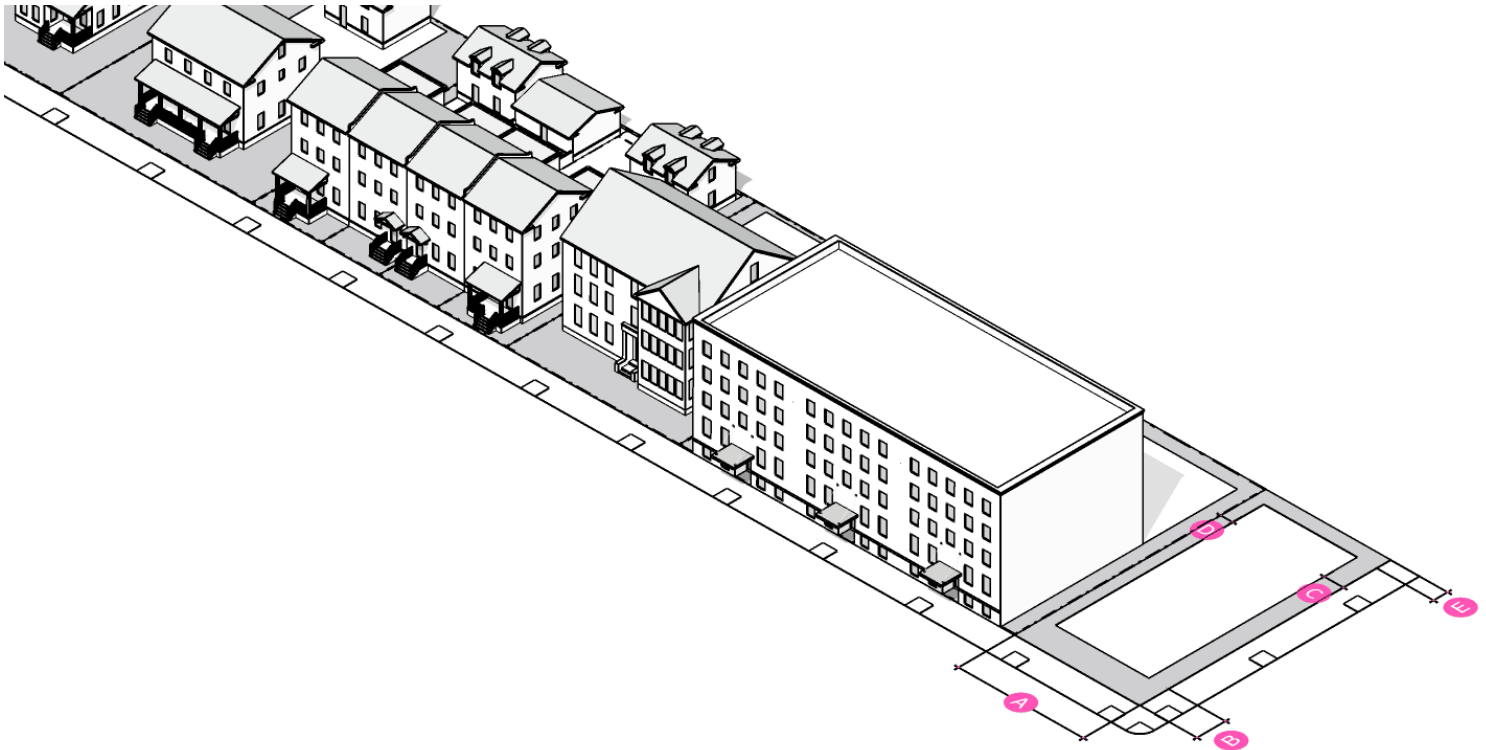
(4) Shopfronts

- (a) Shopfronts are required for all ground floor commercial uses, except lodging, office, and assembly.
- (b) Shopfronts shall span a minimum of 60% of the length of the facade along primary frontages;
- (c) Commercial uses along frontages and cross-block passages shall provide a shopfront along the secondary frontage or cross-block passage for no less than 20 feet from the primary frontage.

(d) Shopfronts must be lined with active interior spaces for a depth of at least 20 feet.

(e) Glazing in shopfronts shall be according to Section “(2) Glazing” and “Figure 10. Measurement Of Glazing”.

TABLE 5 ZONE STANDARDS: NEIGHBORHOOD MIXED-USE

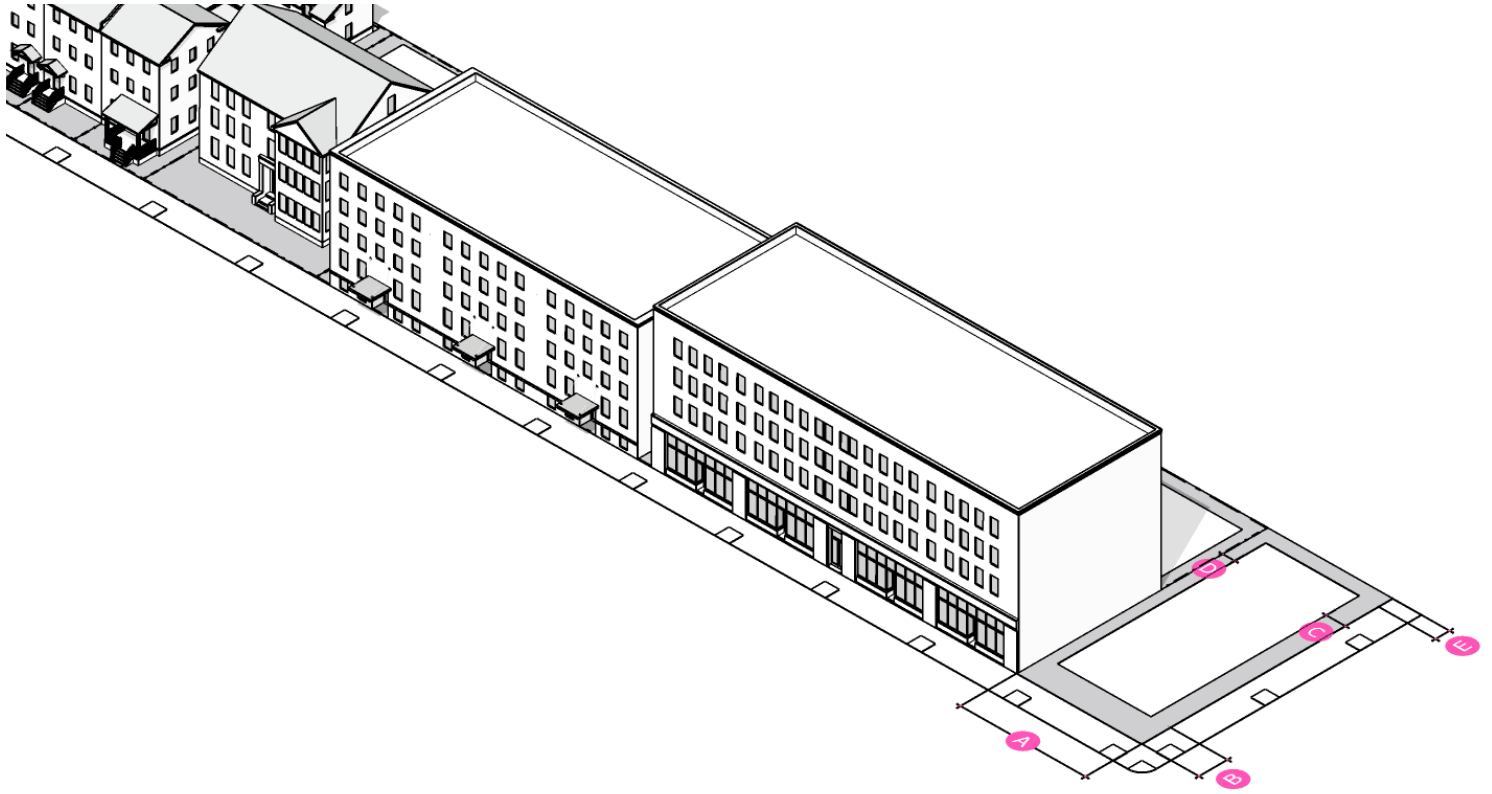


Lot Occupation	Residential	Non-Residential	Building Height	Residential	Non-Residential
A Lot Width (ft.)	16 min. / 80 max	24 min. / 150 max.	Principal Building	3 max.	4 max.
Lot Coverage (max.)	70%	85%	Accessory Dwelling	2 max.	2 max.
Primary Frontage (min.)	60 %	70%	Accessory Structure	1 max.	1 max.
Setbacks	Residential	Non-Residential	Yards in Setbacks	Residential	Non-Residential
Setbacks - Principal Building (feet)			Common Yard	■	
B Front	8 min. / 18 max.	8 max.	Shallow Yard	■	
C Front Secondary	8 min.	12 max.	Urban Yard	■	■
D Side	0 or 5 min.	0 or 5 min.	No Yard	■	■
E Rear	24 min.	3 min.	Encroachments		
Setbacks - Accessory Building / Structure (feet)			Porch	■	
Front	B + 20 min.	B + 20 min.	Stoop	■	
C Front Secondary	8 min.	12 max.	Awning/Canopy		■
D Side	0 or 5 min.	0 or 5 min.	Storefront		■
E Rear	3 min.	1 min.	Gallery		■
			Arcade / Colonnade		■

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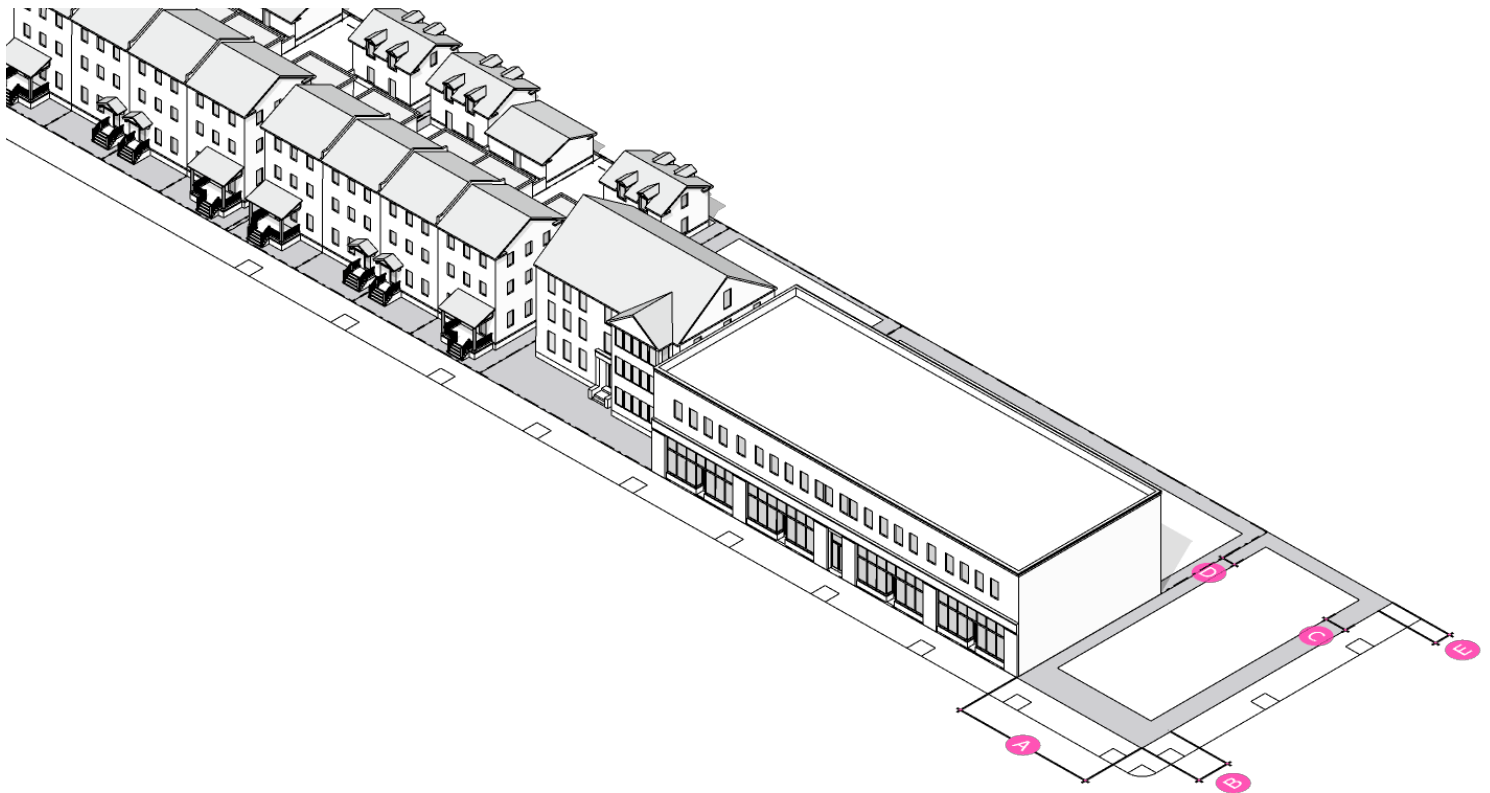
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TABLE 6 ZONE STANDARDS: MIXED-USE CENTER



Lot Occupation	Residential	Non-Residential	Building Height	Residential	Non-Residential
A Lot Width (ft.)	16 min. / 80 max.	24 min. / 240 max.	Principal Building	3 max.	5 max.
Lot Coverage (max.)	80%	95%	Accessory Dwelling	2 max.	2 max.
Primary Frontage (min.)	80%	80%	Accessory Structure	1 max.	1 max.
Setbacks	Residential	Non-Residential	Yards in Setback	Residential	Non-Residential
Setbacks - Principal Building (feet)			Common Yard		
B Front	6 min. / 12 max.	4 max.	Shallow Yard	■	
C Front Secondary	6 min.	6 max.	Urban Yard	■	■
D Side	0 or 5 min.	0 or 5 min.	No Yard	■	■
E Rear	6 min.	3 min.	Encroachments	Residential	Non-Residential
Setbacks - Accessory Building / Structure (feet)			Porch	■	
Front	B + 20 min.	B + 20 min.	Stoop	■	
C Front Secondary	6 min.	3 min.	Awning/Canopy		■
D Side	0 or 5 min.	0 or 5 min.	Storefront		■
E Rear	3 min.	1 min.	Gallery		■
			Arcade / Colonnade		■

TABLE 7 ZONE STANDARDS: SPECIAL DISTRICT / BUSINESS



Lot Occupation	Residential	Non-Residential	Building Height	Residential	Non-Residential
A Lot Width (ft.)	16 min. / 80 max.	24 min. / 300 max.	Principal Building	3 max.	2 max.
Lot Coverage (max.)	80%	75%	Accessory Dwelling	2 max.	N/A
Primary Frontage (min.)	80%	75%	Accessory Structure	1 max.	N/A
Setbacks	Residential	Non-Residential	Yards in Setback	Residential	Non-Residential
Setbacks - Principal Building (feet)			Common Yard		
B Front	6 min. / 12 max.	20 max.	Shallow Yard		
C Front Secondary	6 min.	12 max.	Urban Yard	■	■
D Side	0 or 5 min.	0 or 5 min.	No Yard	■	■
E Rear	6 min.	3 min.			
Setbacks - Accessory Building / Structure (feet)			Encroachments	Residential	Non-Residential
Front	B + 20 min.	N/A	Porch	■	
C Front Secondary	6 min.	N/A	Stoop	■	
D Side	0 or 5 min.	N/A	Awning/Canopy		■
E Rear	3 min.	N/A	Storefront		■
			Gallery		■
			Arcade / Colonnade		■

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TABLE 8 FORM STANDARDS SUMMARY

Lot Occupation	Zone			
	NMU		MUC	
	Residential	Non-Residential	Residential	Non-Residential
Lot Width (ft.)	16 min. / 80 max	24 min. / 150 max.	16 min. / 80 max.	24 min. / 240 max.
Lot Coverage (max.)	70%	85%	80%	95%
Primary Frontage (min.)	60 %	70%	80%	80%
Setbacks	Residential	Non-Residential	Residential	Non-Residential
Setbacks - Principal Building				
Front (ft.)	8 min. / 18 max.	8 max.	6 min. / 12 max.	4 max.
Front Secondary (ft.)	8 min.	12 max.	6 min.	6 max.
Side (ft.)	0 or 5 min.	0 or 5 min.	0 or 5 min.	0 or 5 min.
Rear (ft.)	24 min.	3 min.	6 min.	3 min.
Setbacks - Accessory Building / Structure				
Front (ft.)	Principal+20 min	Principal+20 min	Principal+20 min.	Principal+20 min.
Front Secondary (ft.)	8 min.	12 max.	6 min.	3 min.
Side (ft.)	0 or 5 min.	0 or 5 min.	0 or 5 min.	0 or 5 min.
Rear (ft.)	3 min.	1 min.	3 min.	1 min.
Building Height (stories max.)	Residential	Non-Residential	Residential	Non-Residential
Principal Building	3	4	3	5
Accessory Building	2	2	2	2
Accessory Structure	1	1	1	1
Yards in Setback (see Table 3)	Residential	Non-Residential	Residential	Non-Residential
Common Yard	■			
Shallow Yard	■		■	
Urban Yard	■	■	■	■
No Yard	■	■	■	■
Major Encroachments & Projections (see Table 4)	Residential	Non-Residential	Residential	Non-Residential
Porch	■		■	
Stoop	■		■	
Awning/Canopy		■		■
Gallery		■		■
Arcade / Colonnade		■		■

SD / SDB	
Residential	Non-Residential
16 min. / 80 max.	24 min. / 300 max.
80%	75%
80%	75%
Residential	Non-Residential
6 min. / 12 max.	20 max.
6 min.	12 max.
0 or 5 min.	0 or 5 min.
6 min.	3 min.
Principal+20 min.	N/A
6 min.	N/A
0 or 5 min.	N/A
3 min.	N/A
Residential	Non-Residential
3 max.	2 max.
2 max.	N/A
1 max.	N/A
Residential	Non-Residential
■	■
■	■
Residential	Non-Residential
■	
■	
	■
	■
	■

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G. Uses

- (1) Uses are limited according to “Table 9 Use Standards Summary”.
- (2) Accessory dwelling units.
 - (a) Two accessory dwelling units per principal dwelling unit is permitted.
 - (b) Accessory dwelling units may not exceed 720 square feet per story.
 - (c) Accessory dwelling units may be attached or detached.
 - (d) Accessory dwelling units are limited to one bedroom

TABLE 9 USE STANDARDS SUMMARY

Use	Zone				
	NMU	MUC	SD	SDB	OS
Residential					
Home Occupation	■	■			
1 Dwelling Unit per Lot	■	■			
1 Dwelling Unit per Lot (zero lot line)	■	■			
2-3 Dwelling Units per Lot	■	■			
4-7 Dwelling Units per Lot	■	■			
8 Dwelling Units per Lot	■	■	■	■	
More than 8 Dwelling Units per Lot		■	■	■	
Mobile Home					
Live/Work	■	■	■	■	
Lodging					
6 Rooms or Less	■	■			
12 Rooms or Less	■	■			
More than 12 Rooms		■			

TABLE 9 USE STANDARDS SUMMARY

Use	Zone				
	NMU	MUC	SD	SDB	OS
Commercial					
Adult Retail & Service			■	■	
Automobile Sales					
Automobile Service					
Commercial Laundry					
Crematorium					
Day Care	■	■	■	■	
Dry Cleaners	■	■	■	■	
Food & Beverage	■	■	■	■	
Funeral Home					
Gas Station					
Market, Permanent	■	■	■	■	
Market, Temporary	■	■	■	■	
Office	■	■	■	■	
Package Liquor Store			■		
Self-Storage					
Service, Personal	■	■	■	■	
Service, Professional	■	■	■	■	
Theatre		■	■	■	
Civic					
Convention or Exhibition Facility	■		■	■	
Cultural (Library, Museum, Gallery)	■	■			
Performing Arts	■	■	■	■	
Meeting Hall	■	■			
Religious Assembly	■	■	■	■	■
School, Elementary or Middle	■		■	■	
School, High	■		■	■	
School, College or University	■		■	■	

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TABLE 9 USE STANDARDS SUMMARY

Use	Zone				
	NMU	MUC	SD	SDB	OS
Civil Support					
Ambulatory		■	■	■	
Correctional Institutions			■		
Fire / Police	■	■	■	■	
Hospital			■	■	
Open Space / Recreation					
Community Garden	■	■	■	■	■
Green	■	■	■	■	■
Multi-purpose Field	■	■	■	■	■
Park	■	■	■	■	■
Playground	■	■	■	■	■
Plaza	■	■	■	■	■
Square	■	■	■	■	■
Agriculture					
Processing/Packaging			■		
Warehousing			■		
Forestry			■		
Grazing of cattle and horses			■		
Farming & Ranching			■		
Stables			■		
Stockyards			■		
Wine Tasting	■		■		
Green House	■		■		
Grain Storage	■		■		
Industrial (Light)					
Ground Transportation			■		
Industrial (light)	■	■	■	■	
Manufacturing (light)			■	■	
Storage & Distribution			■		

H. Parking

(1) Bicycle Parking

- (a) Bicycle parking is required as specified in “[Table 10 Bicycle Parking Requirements](#)” and as follows:
 - [1] A minimum percentage of spaces may be required to be enclosed by a structure or lockable fence for parking that may exceed 4 hours; and
 - [2] Enclosed spaces for multi-family residential shall be located at ground level.
- (b) Bicycle racks provided within the front setback or within the public right-of-way shall be configured as specified in Section “[\(4\) Bicycle Racks](#)”.

(2) Automobile Parking

- (a) Automobile parking is required in the amount specified in “[Table 11 Automobile Parking Requirements](#)” and as follows:
 - [1] All uses within the application are added to determine the minimum required parking;
 - [2] When requirements result in a fractional number, fractions are rounded down;
 - [3] Uses within liner buildings less than 30 feet in depth and no more than two stories are exempt from required parking; and
 - [4] An applicant may elect to commission a parking study, providing evidence of parking requirements below the standards of this Section.
- (b) Required parking may be adjusted downward by shared parking according to “[Table 12 Parking Occupancy Rate Table](#)” and as follows:
 - [1] The applicant shall submit a parking demand summary sheet showing the process for calculating the reduction as follows:
 - [i] The gross minimum number of parking spaces is multiplied by the “occupancy rate” in “[Table 12 Parking Occupancy Rate Table](#)”, for each use for the time periods respectively;
 - [ii] The gross minimum numbers of parking spaces for each of the purposes referred to for each time period will be added to produce the aggregate gross minimum numbers of parking spaces for each time period; and
 - [iii] The greatest of the aggregate gross minimum numbers of parking spaces for each period is determined.
- (c) Required parking may be adjusted downwards where the following provisions are provided:
 - [1] 1 automobile parking space may be reduced for every 4 bicycle parking spaces provided in excess of that required;
 - [2] 1.25 automobile parking spaces may be reduced for every 1 electric car charging space provided, in excess of that required;
 - [3] Required parking for residential uses may be adjusted downwards by 50% where spaces serve state licensed assisted living and senior independent living facilities.
- (d) Required automobile parking may be fulfilled in the following locations:
 - [1] Within the same lot;
 - [2] On-street parking spaces located along lot lines;
 - [3] Within an adjacent shared parking lot; and
 - [4] Within a shared parking facility located within 700 feet of the use.

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(e) Off-street Automobile Parking Design

- [1] All off-street parking spaces and aisles shall meet AASHTO size and configuration standards.
- [2] Automobile parking shall be located according to the following and [Table 5](#) to [Table 7](#):
 - [i] Parking is not permitted within the Front or Front Secondary setbacks, and;
 - [ii] Between the building facade and the Front property lines.
- [3] Off-street parking shall be accessed by rear alleys or rear lanes where available.
- [4] Where rear alleys or rear lanes are not available, off-street parking may be accessed from the following locations:
 - [i] From secondary frontages driveways should be located near the rear 50% of the lot; and
 - [ii] Where secondary frontages are not available, parking may be accessed from the primary frontage.
- [5] Driveways providing access to off-street parking are limited to 10 feet in width for alleys serving residential blocks and 20 feet in Mixed-use blocks.
- [6] Pedestrian access to off-street parking shall be provided from sidewalks along a front or Front Secondary lot line.
- [7] Off-street parking facilities shall have a minimum vertical clearance of 7 feet. Where such a facility is to be used by trucks or for loading, the minimum ground floor clearance is 15 feet.
- [8] Parking lots and structures shall be screened along front and Front Secondary lot lines by one or more of the following methods:
 - [i] Liner buildings, optional at parking lots and required at parking structures. A minimum of 70% of parking structure width shall have a screened ground floor frontage; and
 - [ii] A masonry wall with a minimum 30% openings, no less than 4 feet in height.

TABLE 10 BICYCLE PARKING REQUIREMENTS

Use	Minimum Spaces	Enclosed Spaces	On-street Spaces
Residential			
8-20 units per lot	0.75 spaces / unit	25% min.	0% max.
Over 20 units per lot	0.5 spaces / unit	50% min.	0% max.
Lodging			
All Lodging	1 space / 10 rooms	n/a	n/a
Commercial			
Food and beverage	0.5 spaces / 1,000 sq.ft.	n/a	100% max.
Office	0.2 spaces / 1,000 sq.ft.	50% min. where more than 12 spaces are required	100% max.
Other Commercial	0.25 spaces / 1,000 sq.ft.	n/a	100% max.
Civic			
All Assembly	0.2 spaces / 1,000 sq.ft.	0% min.	100% max.
Other Uses			
All Other	No minimum requirement		

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TABLE 11 AUTOMOBILE PARKING REQUIREMENTS

Use	NMU	MUC	SD / SDB
Residential			
Home occupations	1 / 1,000 sq.ft.		
Accessory dwellings	No Minimum		N/A
1 & 2 dwelling units per lot	2 / unit	2 / unit	N/A
over 2 dwelling units per lot	2 / unit	1 / unit	2 / unit
Lodging	0.5 / room + 1 / 3 staff		N/A
Commercial	2 / 1,000 sq.ft. min, 4 / 1,000 sq.ft. max	No Minimum, 3 / 1,000 sq.ft. max	3 / 1,000 sq.ft. min.
Civic Space	No Minimum		
Civic	1 / 8 fixed seats or patrons		2 / 8 fixed seats or patrons
School	1 / 1,000 sq.ft. min. + 1 / 10 fixed seats or patrons		
Entertainment	1 / 8 fixed seats or patrons		2 / 8 fixed seats or patrons
Civil Support	1 / 8 fixed seats or patrons		2 / 8 fixed seats or patrons
Hospital	1 / 1,000 sq.ft. min.		
Agricultural	No Minimum		
Industrial	1 / 1,000 sq.ft. min.		2 / 1,000 sq.ft. min.

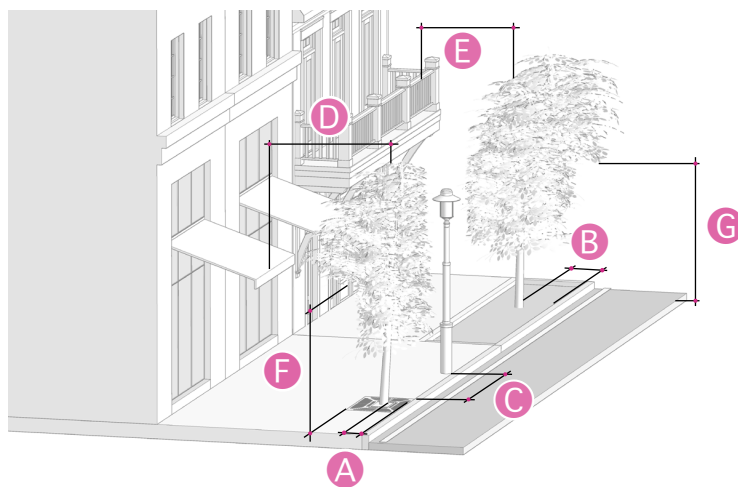
TABLE 12 PARKING OCCUPANCY RATE TABLE

Use	Weekdays			Weekends		
	8am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	12am-6am
Residential over 2 dwelling units per lot	60%	100%	100%	80%	100%	100%
Lodging	70%	100%	100%	70%	100%	100%
Commercial	90%	80%	5%	100%	70%	5%
Food & Beverage	70%	100%	10%	70%	100%	20%
Office	100%	20%	5%	5%	5%	5%
Civic	100%	20%	5%	10%	10%	5%
Convention	100%	100%	5%	100%	100%	5%
Performing Arts	40%	80%	10%	80%	100%	10%
Religious	10%	5%	5%	100%	50%	5%
Industrial	100%	20%	5%	5%	5%	5%

I. Landscaping Standards

- (1) The spacing and placement of plants shall be adequate for the typical size, shape, and habit of the plant species at maturity.
- (2) Trees shall meet the following clearances, and “[Figure 11. Landscape Clearance Standards](#)”:
 - (a) 2 feet from walkways, curbing, and other impervious pavements when planted in a tree well;
 - (b) 3 feet from walkways, curbing, and other impervious pavements when planted in a continuous planter or swale;
 - (c) 5 feet from street lights, underground utilities, utility meters and service lines, fences, walls, and other ground level obstructions;
 - (d) 6 feet from porch eaves, awnings, and similar overhead obstructions associated with the ground level of buildings;
 - (e) 8 feet from balconies, verandas, building eaves and cornices, and similar overhead obstructions associated with the upper stories of buildings;
 - (f) 8 feet of vertical clearance above sidewalks; and
 - (g) 13 feet of vertical clearance above roads and parking lots.
- (3) Preservation of existing trees and vegetation is encouraged and may be used to fulfill the landscape requirements.

FIGURE 11. LANDSCAPE CLEARANCE STANDARDS



- A** Tree Well
- B** Continuous Planter / Swale
- C** Street Lights
- D** Ground Level Major Encroachments
- E** Upper Level Encroachments
- F** Vertical Clearance (Sidewalk)
- G** Vertical Clearance (Roadway)

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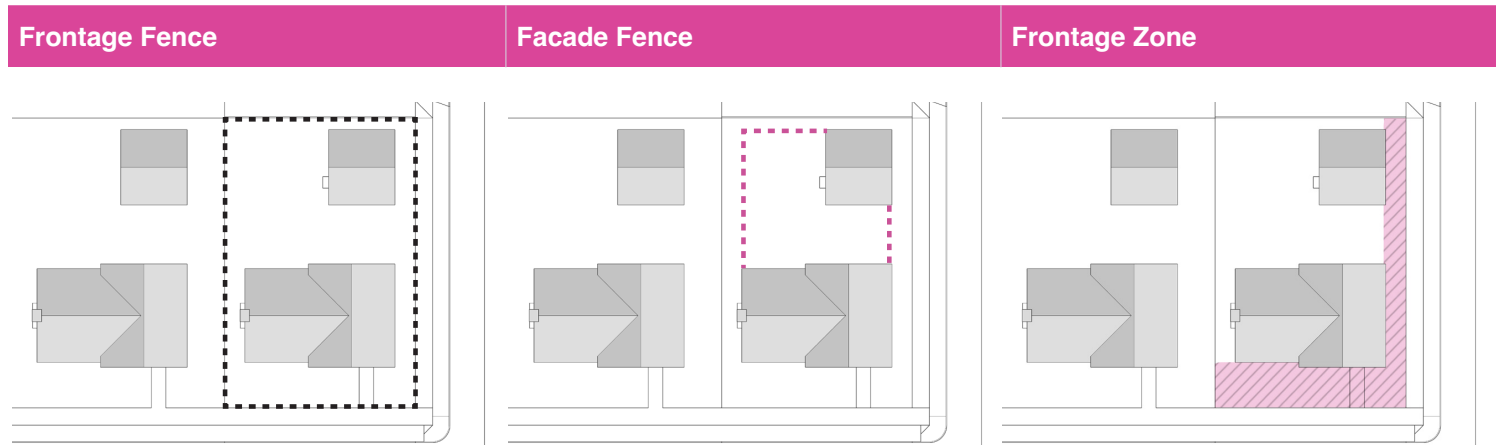
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- (4) Planting with spines, thorns, or needles that may present hazards are prohibited within 2 feet of front and Front Secondary lot lines.
- (5) Artificial plants or artificial turf are prohibited, excluding active recreation sports fields that are typically subject to intense use and soil compaction which prohibits the establishment of turfgrass.
- (6) Noxious or invasive plant species shall be removed.

J. Fencing

- (1) When erected on a lot line, all of the fence and any of its supporting structures shall be contained within the lot.
- (2) Chain Link, Barbed wire, razor wire, and electrically charged fences are not permitted.
- (3) Fence height shall be according to location, “[Figure 12. Fence Location Requirements](#)”, and the following:
 - (a) Frontage Fence:
 - [1] Shall not exceed 3 feet in height and shall fully enclose the yard. Exceptions to height include the following:
 - [2] A Frontage Fence not within the Frontage Zone may follow the height limits of a Facade Fence.
 - (b) Facade Fence:
 - [1] Shall not exceed 6 feet in height and shall fully enclose the yard.

FIGURE 12. FENCE LOCATION REQUIREMENTS



K. Sign Standards

- (1) Signs within the Dale Summit FBC area, shall comply with the sign standards of Section 170 Signs.
- (2) Additionally the following signs are permitted to encroach into the public right-of-way, so long as they maintain a minimum vertical clearance over the sidewalk of 8 feet and are a minimum 2 feet back from the face of the curb.
 - (a) A-Frame signs which shall maintain a minimum 5 foot clear pedestrian way along the sidewalk.
 - (b) Hanging signs shall be permitted to project into the right-of-way according to the following:
 - [1] Hanging signs shall maintain a minimum vertical clearance of 8 feet.
 - [2] Hanging signs shall not project more then 3 feet from the face of the building.
 - [3] Hanging signs shall be a minimum 2 feet back from the face of curb.

§200-63 THOROUGHFARES / ROW

A. General

- (1) Right-of-way designs submitted for approval shall demonstrate compliance with this Section and the following:
 - (a) The Manual on Uniform Traffic Control Devices (MUTCD); and
 - (b) Township of college road construction specifications.
- (2) Rights-of-way shall be available for public use at all times; gates and other means of restricting access are not permitted, except by temporary street closure permit.
- (3) Additional licenses, agreements, and permits may be required as maintained and administered in the office of the respective township of college department.
- (4) Rights-of-way that intersect with state owned roadways require coordination with the Pennsylvania Department of Transportation.

B. Right-of-way Assemblies

- (1) Rights-of-way are configured as an assembly of elements consisting of:
 - (a) A Roadway, and
 - (b) Public frontages to either side of the roadway.
- (2) Assemblies are limited by type, according to “[Table 13 Assembly Types](#)”.
- (3) Design of the assembly shall change along with the underlying zoning district, according to the “[Figure 16. Regulating Map](#)”.
- (4) Where zoning districts to either side of the assembly differ:
 - (a) The design of the roadway shall match the standards of the most intense district it is within or adjacent to; and
 - (b) The design of the public frontage shall match the standards of the most intense district it is within or adjacent to.
- (5) Rights-of-way shall be provided of sufficient width to accommodate all elements of the roadway and public frontages.
- (6) Where redesign of existing facilities results in excess right-of-way, the additional width should be given to the public frontages and/or bicycle facilities.

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FIGURE 13. THOROUGHFARES ASSEMBLIES



TABLE 13 ASSEMBLY TYPES

	NP	NMU	MUC	SD
Neighborhood Street			■	■
Commercial Street			■	■
Drive	■	■	■	■
Avenue		■	■	■
Boulevard		■	■	■

■ Permitted

TABLE 14 THOROUGHFARE TYPE / FUNCTIONAL CLASS

Functional Class	Thoroughfare Type
Arterial	Boulevard
Collector	Boulevard, Avenue
Local	Street (Neighborhood / Commercial), Drive
Sub-Local	Alley

C. Thoroughfare Requirements

(1) Design Speed

- (a) Roadways shall be designed in accordance with the design speeds specified in “Table 15 Design Speed”.
- (b) Posted speed shall be 5 miles under the design speed.

TABLE 15 DESIGN SPEED

	NP	NMU	MUC	SD
Neighborhood Street		15 - 25 mph	15 - 30 mph	30 mph max.
Commercial Street			20 - 35 mph	35 mph max.
Drive		20 - 35 mph	20 - 35 mph	35 mph max.
Avenue		20 - 35 mph	20 - 35 mph	35 mph max.
Boulevard		30 - 45 mph	30 - 45 mph	45 mph max.

(2) Automobile Movement

- (a) Automobile movement is limited according to “Table 16 Design Movement”.
- (b) 1-way movement is limited to:
 - [1] Paired assemblies to either side of civic space or natural area; and
 - [2] Modifications of existing facilities where the right-of-way is constrained.

TABLE 16 DESIGN MOVEMENT

Movement	NP	NMU	MUC	SD
2-way Yield		■		■
2-way Slow		■	■	■
1-way Slow		■	■	■
2-way Low			■	■
1-way Low	■		■	■
2-way High	■			■

■ Permitted

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(3) Automobile Travel Lanes

- (a) The number of automobile travel lanes is limited according to “Table 17 Travel Lane Count”.
- (b) The width of automobile travel lanes is limited according to “Table 18 Travel Lane Size” except as follows:
 - [1] Along bus routes, outside curb or parking adjacent lanes shall be a minimum of 11 feet;
 - [2] Travel lanes adjacent to 45-degree on-street parking shall be a minimum of 12 feet in width; and
 - [3] Travel lanes adjacent to 60-degree on-street parking shall be a minimum of 14 feet in width.

TABLE 17 TRAVEL LANE COUNT

	NP	NMU	MUC	SD
Neighborhood Street		1 - 2	1 - 2	1 - 2
Commercial Street			1 - 4	1 - 4
Drive		1 - 2	1 - 2	1 - 2
Avenue		2	2 - 4	2 - 4
Boulevard		4 - 6	4 - 6	4 - 6

- (c) Continuous left turn lanes are limited to the redesign of existing facilities.
- (d) Automobile travel lanes are measured to the edge of pavement.

TABLE 18 TRAVEL LANE SIZE

	NP	NMU	MUC	SD
Yield Movement		14 - 18 ft.		14 - 18 ft.
Slow Movement		8 - 10 ft.	9 - 11 ft.	8 - 11 ft.
Low Movement	10 - 12 ft.		10 - 11 ft.	10 - 13 ft.
High Movement	12 - 14 ft.			12 - 14 ft.

- (4) On-street Parking Lanes
 - (a) On-street parking lane type is limited according to “Table 19 On-Street Parking Type”.
 - (b) Angled parking lanes shall be 18 feet or less in width.
 - (c) Parallel parking lane width is limited according to “Table 20 Parallel Parking Lanes”.
 - (d) On-street parking lanes are measured to the face of curb, or edge of pavement where no curb exists.

TABLE 19 ON-STREET PARKING TYPE

	NP	NMU	MUC	SD
Neighborhood Street		parallel	parallel	parallel
Commercial Street			parallel or angled	parallel or angled
Drive		parallel	parallel or angled	parallel or angled
Avenue		parallel or angled	parallel or angled	parallel or angled
Boulevard		parallel	parallel	parallel

TABLE 20 PARALLEL PARKING LANES

	Lane Width
Yield Movement	7 ft.
Slow Movement	7 - 8 ft.
Low Movement	8 ft.

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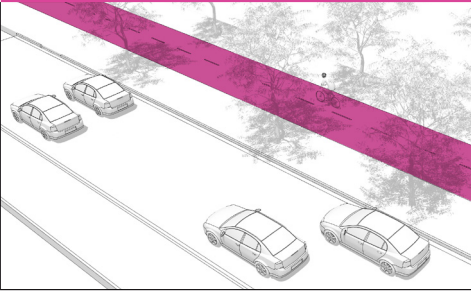
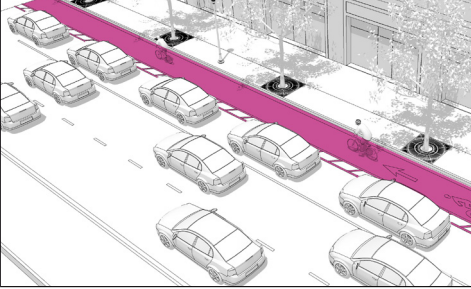
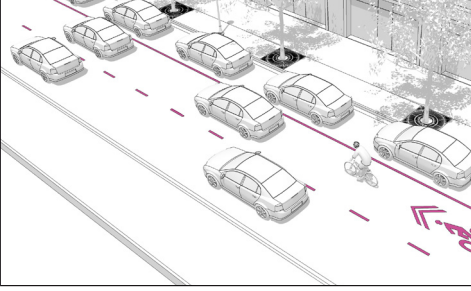
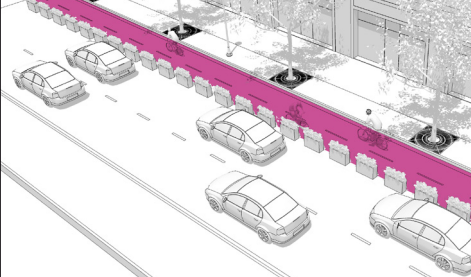
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- (5) Medians
 - (a) Medians are required within avenues and boulevards.
 - (b) Medians are optional within highways.
 - (c) Medians shall be a minimum of 14 feet in width.
- (6) Multi-way Boulevards
 - (a) Boulevards may be adjusted to multi-way boulevards by adding medians and access lanes between the roadway and public frontages.
 - (b) Medians between the roadway and public frontages shall be a minimum of 12 feet in width, except where the retrofit existing rights-of-way require a narrower median.
 - (c) The roadway shall be configured as follows:
 - [1] The design speed is limited to 45 mph max.;
 - [2] Automobile travel lanes are limited to 2 - 6, excluding access lanes;
 - [3] On-street parking is not permitted within the roadway; and
 - [4] Bicycle facilities are limited to Class 4.
 - (d) Access lanes shall be configured as follows:
 - [1] The design speed is limited to 15 - 25 mph;
 - [2] Automobile travel lanes are limited to 1;
 - [3] Parallel or angled parking is required along the outside edge of access lanes and optional along the inside edge; and
 - [4] Bicycle facilities may be Class 2, 3, or 4.

(7) Bicycle Facilities

- (a) Bicycle facilities shall be according to the zones per “Figure 16. Regulating Map”.
- (b) Private property providing public access and continuity shall be given 10% additional lot coverage.
- (c) Continuity shall be provided for bicycle facilities that terminate at site boundaries.
- (d) Bicycle facilities shall be configured by facility type, according to “Table 21 Bicycle Facilities”.

TABLE 21 BICYCLE FACILITIES

Class	Graphic	Facility Width	Buffer	Zone				
				NP	NMU	MUC	SD/B	OS
Class 1: Bike Path		10 ft. min 2-way	n/a	■				■
Class 2: Bike Lane		5 ft. min.	3 ft. min.		■	■	■	
Class 3: Bike Route		none/ shared	none		■	■	■	
Class 4: Separated Bikeway		6 ft. min.	3 ft. min.		■	■	■	

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D. Public Frontage Requirements

- (1) Public frontages consist of sidewalks, planting and furnishing areas, and the roadway edge.
- (2) Sidewalks:
 - (a) Sidewalk width shall meet the standards specified in “Table 22 Minimum Sidewalk Width”.
 - (b) At intersections, sidewalks shall connect to 2 separate ramps per intersection quadrant.

TABLE 22 MINIMUM SIDEWALK WIDTH

	NP	NMU	MUC	SD
Neighborhood Street		5 ft.	6 ft.	5 ft.
Commercial Street			10 ft.	10 ft.
Drive		6 ft.	8 ft.	6 ft.
Avenue		6 ft.	8 ft.	6 ft.
Boulevard		6 ft.	10 ft.	6 ft.

(3) Planting and Furnishing Area

- (a) Planting and furnishing areas are required by type as specified in “Table 23 Planting and Furnishing Area Types”.
- (b) Planting and furnishing areas shall meet the minimum width standards of “Table 24 Minimum Planting and Furnishing Area Width” and the following:
 - [1] A verge is required, providing allowable locations for infrastructure and furniture outside of pedestrian, bicycle, public transportation, and vehicular access ways;
 - [2] The verge may overlap into the sidewalk, provided a minimum 5 foot wide pedestrian path is maintained;
 - [3] Lighting shall be located within the verge;
 - [4] Where the right-of-way is 45 feet wide or less or commercial streets 59 feet wide or less the planting and furnishing area may exclude planting;
 - [5] Along commercial streets, the spacing of trees may be irregular to avoid visually obscuring shopfronts;
 - [6] Tree spacing may be adjusted up to 20% by administrative waiver to accommodate specific site conditions; and
 - [7] Bioswales are not permitted in mixed-use areas.

TABLE 23 PLANTING AND FURNISHING AREA TYPES

Street Context	NP	NMU	MUC	SD
Neighborhood Street		Continuous or Long Planter	Long Planter or Urban	Any
Commercial Street			Urban or Arcaded	Urban or Arcaded
Drive Avenue Boulevard		Continuous or Long Planter	Long Planter, Urban, or Arcaded	Any except swale

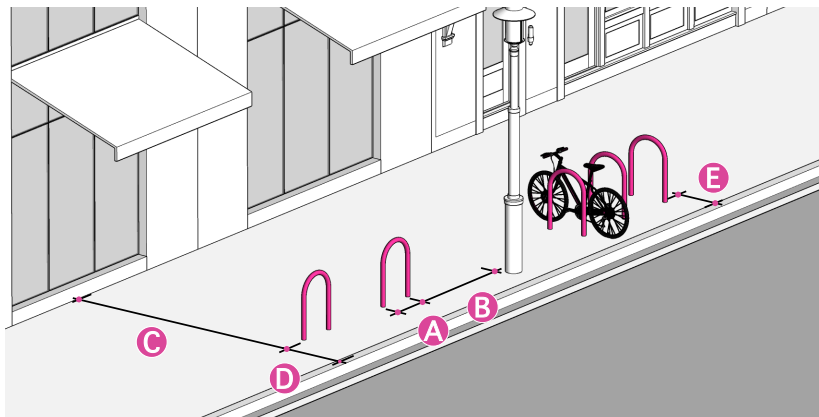
TABLE 24 MINIMUM PLANTING AND FURNISHING AREA WIDTH

	NP	NMU	MUC	SD
Swale	15 ft.	10 ft.		10 ft.
Planter		8 ft.		6 ft.
Long Planter		6 ft.	6 ft.	6 ft.
Urban			5 ft.	5 ft.
Arcaded	Integrated within the Arcade			

(4) Bicycle Racks:

- (a) Bicycle racks shall meet the following requirements of “Figure 14. Bicycle Clearance”, and the following:
- [1] Bicycle racks shall be configured to provide two points of contact for locking bicycles (A).
 - [2] Bicycle racks may not be located within the following areas (B):
 - [i] Within 5 feet of fire hydrants;
 - [ii] Within 4 feet of loading zones and bus stop markers;
 - [iii] Within 3 feet of driveways and manholes; and
 - [iv] Within 2 feet of utility meters and tree boxes.
 - [3] Bicycle rack placement may not reduce the pedestrian sidewalk path to less than 5 feet accounting for a 56cm bicycle properly locked to the rack (C).
 - [4] Bicycle racks installed parallel to the curb shall be set back from the curb a minimum of 3 feet (D).
 - [5] Bicycle racks installed perpendicular to the curb shall allow for a minimum setback of 2 feet between the curb and a 56cm bicycle properly locked to the rack (E).

FIGURE 14. BICYCLE CLEARANCE



- A** Two points of contact
- B** Clearance between utilities and street furniture
- C** Sidewalk clearance
- D** Parallel bike racks minimum setback from street
- E** Perpendicular bike racks minimum setback from street

(5) Curbs

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- (a) Vertical curbing is required. Exceptions may include:
 - [1] Shared streets within MUC which prioritize pedestrians over all other modes of transportation, may be permitted to have flush curbs.
- (b) Where automobile travel lanes are directly adjacent to curbs or where curb extensions are used, the minimum curb return radius is as specified in “Table 25 Curb Return Radius”(a).
- (c) Where automobile travel lanes are not directly adjacent to curbs, the minimum curb return radius is determined as follows:
 - [1] The minimum curb return radius specified in “Table 25 Curb Return Radius”(a) is reduced by accounting for the actual path of vehicle tracking;
 - [2] The minimum curb return radius shall not be reduced below the radii specified in “Table 25 Curb Return Radius”(b) and (c);
 - [3] Where on-street parking or bike lanes are on only one leg of an intersection quadrant, the minimum curb return radius is reduced according to the formula in “Table 25 Curb Return Radius”(d);
 - [4] Where on-street parking or bike lanes are on both legs of an intersection quadrant in a symmetric configuration, the minimum curb return radius is reduced according to the formula in “Table 25 Curb Return Radius”(e); and
 - [5] Where on-street parking or bike lanes are on both legs of an intersection quadrant in an asymmetric configuration, the minimum curb return radius is reduced according to the formula in “Table 25 Curb Return Radius”(f).

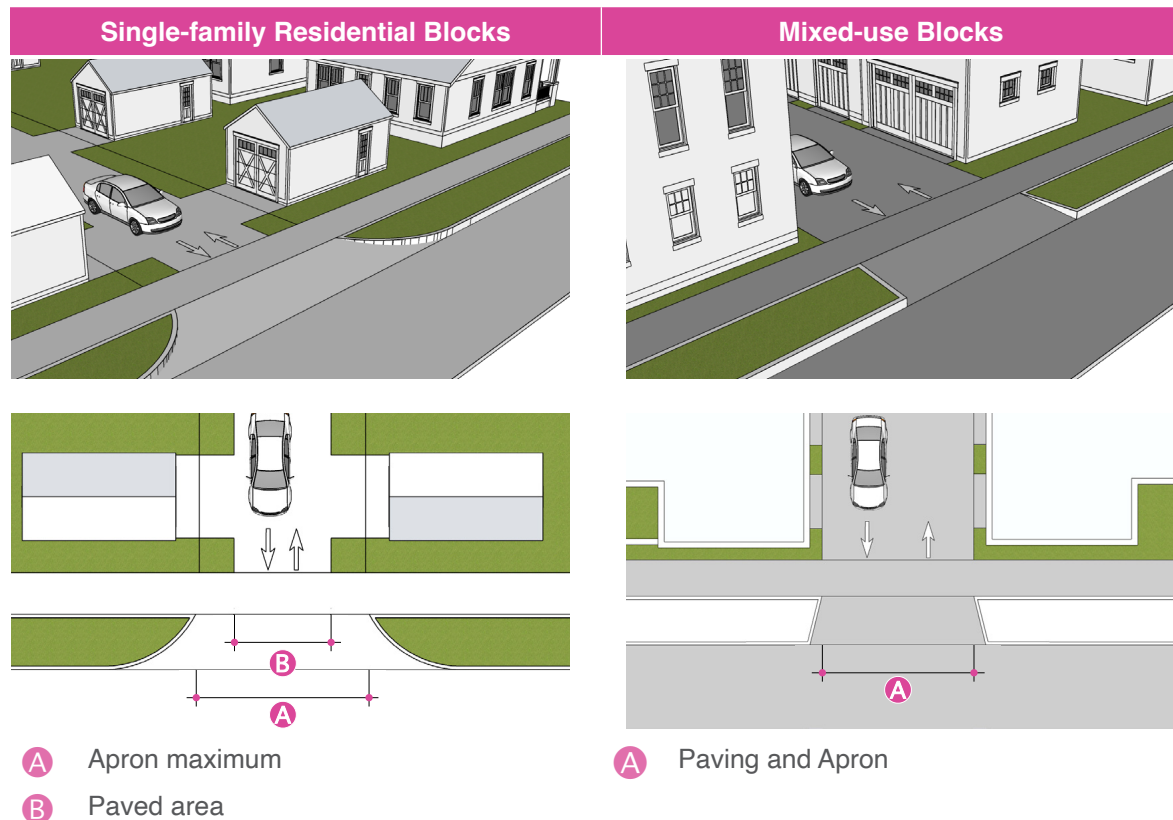
TABLE 25 CURB RETURN RADIUS

	(a) Min. Effective Radius	Min. Radius Limit		Radius Reduction Formulae		
		(b) Curbed	(c) No Curb	(d) 1 Leg	(e) 2 Legs, Symmetric	(f) 2 Legs, Asymmetric
Neighborhood Street	25 ft.	5 ft.	15 ft.	reduced radius = minimum effective radius - (parking lane width + bike lane width)	reduced radius = minimum effective radius - 3 x (parking lane width + bike lane width)	reduced radius = minimum effective radius - 3 x (average width of combined parking and bike lanes on both legs)
Commercial Street	35 ft.	5 ft.	15 ft.			
Drive	35 ft.	5 ft.	15 ft.			
Avenue	25 ft.	5 ft.	15 ft.			
Boulevard	50 ft.	10 ft.	20 ft.			

E. Alleys

- (1) Alleys are easements that provide access to properties from within a block.
- (2) Alleys are required to provide access to all properties, except where a single property occupies a full block.
- (3) Alleys are required to provide access to properties less than 45 feet wide.
- (4) In mixed-use blocks, alleys shall be configured as follows:
 - (a) Alley aprons should be tapered;
 - (b) Alley easements shall be a minimum of 28ft. clear;
 - (c) Alleys shall be fully paved; and
 - (d) Drainage should be provided through inverted crown or sheet flow.
- (5) In single-family residential blocks, alleys shall be configured as follows:
 - (a) Alley aprons should be curved;
 - (b) Alley easements shall be a minimum of 24ft. clear;
 - (c) Alleys must be paved a width of 12 to 16 feet; and
 - (d) Drainage should be provided through swales, inverted crown, or sheet flow.

FIGURE 15. ALLEYS



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F. Thoroughfare Assemblies

(1) The following thoroughfare assemblies are pre-approved assemblies which may be used for creation of new streets.

TABLE 26 NS-50-26 NMU



Assembly		Roadway	
Assembly Type	Neighborhood Street	Design Speed	20 mph
Right-of-way	50 ft. min.	Movement	Yield
Zones	NMU	Travel Lanes	1, 12 ft. Shared
Public Frontage		Parking Lanes	2, 7 ft. Parallel
Sidewalk	5 ft. min.	Median	None
Planting & Furnishing	7 ft. min., Continuous	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Local

Note: shared streets to be considered upon request, for retrofit conditions only.

TABLE 27 NS-50-26 NMU



Assembly		Roadway	
Assembly Type	Neighborhood Street	Design Speed	20 mph
Right-of-way	50 ft. min.	Movement	Yield
Zones	NMU	Travel Lanes	1, 12 ft. Shared
Public Frontage		Parking Lanes	2, 7 ft. Parallel
Sidewalk	6 ft. min.	Median	None
Planting & Furnishing	6 ft. min., Long Planter	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Local

Note: shared streets to be considered upon request, for retrofit conditions only.

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TABLE 28 NS-70-34 NMU



Assembly		Roadway	
Assembly Type	Neighborhood Street	Design Speed	20-30 mph
Right-of-way	70 ft. min.	Movement	2-way Slow
Zones	NMU	Travel Lanes	2, 10ft. each
Public Frontage		Parking Lanes	2, 7 ft. Parallel
Sidewalk	5 ft. min.	Median	None
Planting & Furnishing	13 ft. min. Continuous	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Local

TABLE 29 NS-70-34 NMU (VARIATION)



Assembly		Roadway	
Assembly Type	Neighborhood Street	Design Speed	20-30 mph
Right-of-way	70 ft. min.	Movement	2-way Slow
Zones	NMU	Travel Lanes	2, 10 ft. each
Public Frontage		Parking Lanes	2, 7 ft. Parallel
Sidewalk	6 ft. min.	Median	None
Planting & Furnishing	12 ft. min., Cont. or Long	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Local

TABLE 30 CS-70-44 MUC/MUC



Assembly	
Assembly Type	Commercial Street
Right-of-way	70 ft. min.
Zones	NMU, MUC
Public Frontage	
Sidewalk	7 ft. min.
Planting & Furnishing	6 ft. min., Urban
Curb	Vertical

Roadway	
Design Speed	20-30 mph
Movement	2-way Slow
Travel Lanes	2, 10 ft. each
Parking Lanes	2, 7 ft. Parallel
Median	None
Bicycle Facilities	See Table 21
Class	Local

TABLE 31 CS-70-44 MUC/MUC



Assembly	
Assembly Type	Commercial Street
Right-of-way	70 ft. min.
Zones	NMU, MUC
Public Frontage	
Sidewalk	7 ft. min.
Planting & Furnishing	6 ft. min., Urban
Curb	Vertical

Roadway	
Design Speed	20-30 mph
Movement	2-way Slow
Travel Lanes	2, 10 ft. each
Parking Lanes	2, 7 ft. Parallel
Median	None
Bicycle Facilities	See Table 21
Class	Local

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TABLE 32 AV-80-40 NMU



Assembly		Roadway	
Assembly Type	Avenue	Design Speed	30 mph
Right-of-way	80 ft. min.	Movement	2-way Slow
Zones	NMU	Travel Lanes	2, 12 ft. each
Public Frontage		Parking Lanes	2, 8 ft. Parallel
Sidewalk	5 ft. min.	Median	16 ft. min.
Planting & Furnishing	7 ft. min., Continuous	Bicycle Facilities	Shared Lane
Curb	Optional	Class	Collector or lower

TABLE 33 AV-80-40 NMU/MUC



Assembly		Roadway	
Assembly Type	Avenue	Design Speed	30 mph
Right-of-way	80 ft. min.	Movement	2-way Slow
Zones	NMU, MUC	Travel Lanes	2, 12 ft. each
Public Frontage		Parking Lanes	2, 8 ft. Parallel
Sidewalk	6 ft. min.	Median	16 ft. min.
Planting & Furnishing	6 ft. min., Cont. or Long	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Collector or lower

TABLE 34 BL-160-28 MUC/MUC

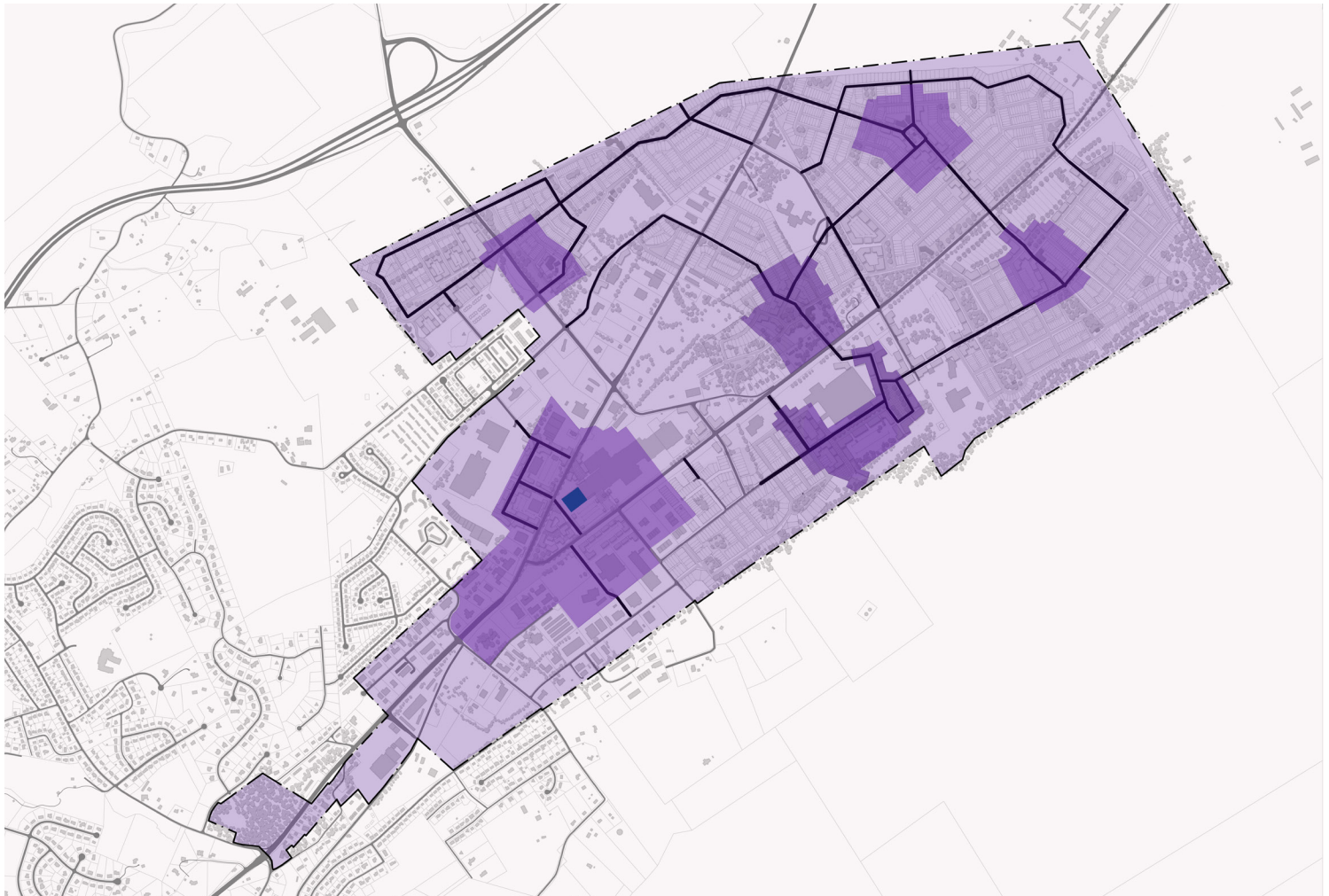


Assembly		Roadway	
Assembly Type	Boulevard	Design Speed	30 mph
Right-of-way	160 ft. min.	Movement	2-way Slow and Low
Zones	NMU, MUC	Travel Lanes	2 @ 12 ft., 4 @ 10 ft.
Public Frontage		Parking Lanes	2, 8 ft. Parallel
Sidewalk	10 ft. min.	Median	3 @ 16 ft. min. each
Planting & Furnishing	6 ft. min., Urban	Bicycle Facilities	Shared Lane
Curb	Vertical	Class	Arterial or Collector

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FIGURE 16. REGULATING MAP



- Neighborhood Mixed-Use
- Mixed-Use Center
- Special District - Business
- Existing Thoroughfares
- Proposed Primary Thoroughfares

FIGURE 17. DALE SUMMIT VISION PLAN



○ 5 and 10 minute pedestrian sheds, located at recommended neighborhood centers

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FIGURE 18. DALE SUMMIT THOROUGHFARE NETWORK & OPEN SPACE



- Existing and Suggested Open Space
- Existing Thoroughfares
- Proposed Primary Thoroughfares
- Proposed Discretionary Thoroughfares

§200-64 ADMINISTRATION OF PLANNED SUBDIVISIONS FOR DALE SUMMIT AREA

A. General Provisions

(1) Purpose

- (a) This Article is enacted for the purpose set forth in Article VII of the Municipalities Planning Code, for the subdivision purposes set forth in § 180-3, and for the following additional purposes;
 - [1] Establish an orderly, clear and comprehensive process to subdivide and develop land within the Dale Summit area, that is fair to all public interests.
 - [2] Streamline the review process and improve predictability in the outcome of future development.
 - [3] Promote the development of land in a manner that is generally consistent with the vision statement for Dale Summit.
 - [4] Reduce sprawl and improve the built environment by providing sustainable, vibrant, healthy and attractive places.
 - [5] Support walkability and promote safe streets.
 - [6] Provide infill and redevelopment opportunities in existing areas for auto-oriented developments to transform into walkable urban places.
 - [7] Establish submission requirements for the review of applications for all subdivision development permits.

(2) Applicability

- (a) New Subdivisions and land development. Development review is required for any new development requiring subdivision. No subdivision or land development of any lot, tract or parcel of land shall be made, and no street, sanitary sewer, storm sewer, water main or other improvements in connection therewith shall be laid out, constructed, opened or dedicated for public use or travel or for the common use of occupants of buildings abutting thereon, except in accordance with the provisions of this Article.
- (b) This Article shall apply to all plans submitted for initial approval of a subdivision or land development after the date of enactment of this Article.
- (c) In their interpretation and application, the regulations set by this Article shall be held to be the minimum requirements adopted for the promotion of the purposes of this Article.
 - [1] Types of control. This Article contains regulations governing the following: procedures for establishing a subdivision within the Dale Summit area; graphic and written information to be submitted under such procedures; and regulations governing zoning districts, built forms and their permitted uses, layout of streets and structures, the reservation of land for common or public open space, the provision of recreational facilities and pedestrian access, protection of the natural environment and the avoidance of negative impacts on surrounding areas.
 - [2] New submissions. Upon application by a landowner, the Township Council may, according to the provisions of this Article, establish a subdivision on contiguous parcels of land under common ownership of the applicant within the zoning districts approved for the Dale Summit Area.
 - [3] Relationship with other restrictions. The provisions of this Article are not intended to interfere with, abrogate or annul other rules, regulations or ordinances, provided that, where this Article imposes a greater restriction than that imposed by such other rules, easements, covenants, restrictions, regulations or ordinances, the provisions of this Article shall control. If development governed by a provision of this Article conflicts with Chapter 200, Zoning, or Chapter 180, Subdivision of Land, the provisions of this Article shall control.
 - [4] Exemptions. This Section shall not apply to any subdivision or land development exempted by the Pennsylvania Municipalities Planning Code^[2] or other laws of the Commonwealth of Pennsylvania.
- (d) Subdivisions and land developments, existing or new, must be constructed and maintained in full compliance with their approved and recorded plan(s) and subsequent minor plan(s). Failure to comply shall constitute a

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violation with penalties as set forth in [§ 180-29A](#).

(e) Existing subdivisions and land developments.

- [1] Any plan submitted for preliminary plan approval prior to the date of enactment of this Section shall be reviewed under the terms of Ordinance No. 19.
- [2] All existing planned residential developments approved under the terms of Ordinance No. 41-C but not yet constructed at the date of enactment of this Section shall comply with the requirements of Section 145.4.
- [3] This Section shall apply to any subdivision or land development which occurred without obtaining approval required under this Section or previous subdivision ordinances of this municipality.
- [4] The provisions of this Section governing the design and installation of improvements shall apply to any unbuilt portion of a subdivision or land development for which a preliminary or final plan was approved more than three years prior to the date of the enactment of this Section. Where final plan approval was preceded by preliminary plan approval, the three-year period shall be counted from the date of the preliminary plan approval.
- [5] Any preliminary plan approved within three years prior to the date of enactment of this Section shall be entitled to final plan approval, within three years of the date of approval of the said preliminary plan, according to the terms of said plan.

B. Types Of Subdivisions

- (1) Project size: The acres used to determine the project size for the submission process type is based on the gross developable acres of contiguous properties owned or controlled by a single entity or development partnership. A property owner or partnership may not separate development applications in order to avoid compliance with submission requirements or site standards based on property size. For this reason, multiple applications by the same applicant on adjacent properties will not be accepted within a single calendar year unless coordinated.
- (2) Subdivision Types: There are 2 types of subdivision processes:
 - (a) Process A: A subdivision for sites less than 10 acres or for sites not requiring any new infrastructure. This may include:
 - [1] A lot split or lot combination
 - [2] Lot boundary adjustments
 - (b) Process B: A subdivision for sites greater than 10 acres or for sites requiring new infrastructure.
- (3) An applicant seeking a subdivision plan review and approval shall follow the procedures required for submission drawings according to [“§200-65 PLAN REQUIREMENTS”](#).

C. General Requirements

- (1) Preliminary plans for subdivisions, all or part of which are situated in the Dale Summit area, shall be reviewed by the Township Planning Commission and the Center Regional Planning Commission and shall be approved or denied by the Township Council in accordance with the procedures specified in this Article.
 - (a) Subdivision and land development plans shall consist of a preliminary plan, which is submitted and reviewed in accordance with [§180-8](#) and [§180-9](#), and [“B. Preliminary Plan Requirements”](#).
 - (b) Following approval of the preliminary subdivision and land development plans, a final plan can be submitted for all or a phase of the approved preliminary plan, which shall be submitted and reviewed in accordance with [§180-10](#) and [§180-11](#) and [“C. Final Plan Requirements”](#).
 - (c) Upon approval, final subdivision and land development plans shall be recorded in accordance with [§180-12](#) and [§180-13](#). If the proposed subdivision or land development plan is proposed to be developed in a single phase, then the applicant shall be permitted to have the plan reviewed as a preliminary/final plan, in which case the preliminary plan and final plan process run concurrently in a single stage review process.

- (2) Specific to multi-phase projects:
 - (a) If an application is substantially compliant with a previously approved master plan, applicants may proceed to Process A (no new public infrastructure) or Process B (subdivision) as determined by the Zoning Officer.
 - (b) An applicant may submit an optional sketch plan for subsequent phases of a multi-phase project, in conjunction with a preliminary and final plan for the first phase. Once a record plan is provided, subsequent phases are subject to consistency with the sketch plan and may proceed to Process A or B, as determined by the Zoning Officer.
- (3) The Zoning Officer may approve an administrative waiver as part of a development review process. Refer to section “D. Administrative Waivers”.

D. Minor Plans

- (1) Minor plans for land development and subdivisions shall be as specified in §180-6-B.

E. Pre-Application Conference

- (1) A pre-application conference is recommended for Process A applications and required for Process B applications.
- (2) The applicant shall apply for a pre-application conference with the Principal Planner or their designee, prior to officially submitting an application. The Principal Planner shall schedule the pre-application meeting within 10 business days of receiving the request. They will, at their discretion, designate appropriate staff to conduct the pre-application conference, depending on the nature of the submission.
- (3) The applicant may request a conference with the Planning Commission for the purpose of discussing or reviewing the proposed development and for obtaining advice on the preparation of the Sketch Plan.
- (4) The pre-application conference shall not be mandatory and shall not be regarded as a formal application for a subdivision. The filing of any report, sketch plan, plat or map prior to or at such conference shall not constitute submission of a plan or application for a subdivision, nor shall such materials be binding on subsequent submissions by the applicant.
- (5) Any report, sketch plan, plat or map to be considered by the Planning Commission at such conference shall be provided by the potential applicant in three copies, and the Township Secretary shall distribute a copy of the same to the Township Planning Commission and the Centre Regional Planning Commission for informational purposes only.
- (6) The Planning Commission may, at its sole discretion, make or refuse to make recommendations as the result of the pre application conference. Any recommendations made by the Planning Commission at or in response to the pre application conference shall not be binding upon the applicant or upon the Planning Commission in its review of the plan after formal application.

F. Sketch Plan Review

- (1) A potential applicant for a planned development may request to have a sketch plan reviewed with the Planning Commission and/or Township staff for the purpose of discussing or reviewing such proposed development and for obtaining advice on the preparation of the preliminary plan.
- (2) The sketch plan review process provides applicants with the opportunity to have their proposed development and its basic design concepts reviewed prior to proceeding with preliminary and final plans that require engineering or construction drawings. However, the level of information provided by the Sketch Plan should be detailed enough to demonstrate compliance with the subdivision standards.
- (3) The review of a sketch plan shall not be regarded as a formal application for the planned development. The filing of items to the Planning Commission and/or staff shall not constitute submission of a plan or application for planned development nor shall such materials be binding on subsequent submissions by the applicant.
- (4) Any report, sketch plan, plat or map to be considered by the Planning Commission at its regularly scheduled meeting shall be provided by the potential applicant at a minimum of 11 paper copies and one electronic copy in a format suitable to the Township. The Township Engineer or his/her designee shall distribute a copy of the same to the Township Planning Commission, Township Engineer, Township Zoning Officer, and the Centre Regional Planning

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Commission for informational purposes only. Depending on the size and/or impact of the proposed development on existing fire protection issues, a copy of the sketch plan may have to also be provided to the Fire Director or his/her designee.

- (5) The Planning Commission may, at its sole discretion, make or refuse to make recommendations at their regularly scheduled meeting. Any recommendations made by the Planning Commission at or in response to the proposed development shall not be binding upon the applicant or upon the Planning Commission in its review of the plan after formal application.
- (6) Development Review Criteria:
 - (a) The application must demonstrate that the proposed development project is consistent with the intent and standards of the Dale Summit FBC for all elements required to be submitted for each submission.
 - (b) The application must demonstrate consistency with any prior approved Concept Plans, if one exists. Substantial changes from an approved plan may be granted based on the following conditions:
 - [1] The application includes a justification statement clearly describing the need for the change from previously approved plans.
 - [2] The Zoning Officer will make the determination of whether the proposal is a substantial change or non-substantial change.
 - [i] Non-substantial changes may be approved by the Zoning Officer
 - [ii] Substantial changes shall be reviewed by the Planning Commission. Any amendment may be reviewed concurrently with the development review application.

G. Preliminary Plan Review

- (1) All applications for Township approval of subdivision plans shall commence with the official submission of a Preliminary Plan and all required supplementary data to the Township Secretary. The application for preliminary approval of the development plan shall be filed by or on behalf of the landowner. At any time during the review process, the applicant may amend the originally submitted plan solely for the purpose of correcting minor deficiencies in the original plan to the extent necessary to meet the requirements of this Section.
- (2) A Preliminary Plan shall be deemed to have been submitted for review when the applicant has furnished to the Township Secretary all documents and required copies as listed in §180-8-B or §145-9-A.
- (3) Upon receipt of the documents, the Township Secretary shall immediately forward the preliminary plan documents to the authorities as listed in §180-8-C or §145-9-B.
- (4) Review by the Township Planning Commission shall follow the same process as specified in §145-9-C.
- (5) Review by Township Council shall follow the same process as specified in §145-9-D.

H. Final Plan Review

- (1) A plan, including all the land in an approved preliminary plan or a section thereof according to an approved schedule for development over a period of years, shall be officially submitted to the Township Secretary for final approval. All plans which have received tentative approval shall be entitled to final approval, in accordance with the terms of the approved preliminary plan, for a period of 12 months from the date of preliminary approval. The Township Council may extend for 12 months the period for filing the final plan. No construction or installation of structures or improvements shall occur in any phase of the development and no zoning or building permits shall be issued before final approval is given. No occupancy permits shall be issued for any phase of the development until required improvements are installed and all conditions of final approval have been met.
- (2) All applications for final approval shall be acted upon by the Township Council staff within 45 days following the date the application is filed.

I. Option 1 (current process, not preferred)

- (1) Final official submission of the plan to the Township Council shall be as listed in §180-10-A or §145-10-B.
- (2) Upon receipt of the documents, the Township Secretary shall immediately forward the final plan documents to the authorities as listed in §180-10-B or §145-10-C.
- (3) The final review by Township Council shall follow the same process as specified in §145-10-D.
- (4) For plans containing variations from the development plan given tentative approval, refer to §145-10-E.
- (5) As a condition of approval, the applicant shall agree to comply with the following sections:
 - (a) Permit the Township Engineer to make periodic site inspections as specified in §145-10-F.
 - (b) In order to guarantee the completion of any improvements required as a condition for final approval of the plan, the applicant shall submit a corporate bond as specified in §145-10-G.
 - (c) In the event that a development plan or section thereof is given final approval and thereafter the landowner abandons a portion or the entirety of the plan, no further development shall be permitted as specified in §145-10-H.

J. Option 2 (new process, preferred)

- (1) Final official submission of the plan to the Township staff shall consist of eight black- or blue-on-white prints of the plan, which shall comply with §145-13 and the conditions for which the plan received tentative approval, plus all offers of dedication and deeds of easements to the Township and all other required documents.
- (2) Upon receipt of all required materials, the Township Secretary shall forward one copy of the plan to the Centre Regional and Centre County Planning Commissions, the Fire Chief, the Township Engineer and, if the proposed development is to have direct access to a state or federal highway, the district office of the Pennsylvania Department of Transportation in Clearfield, Pennsylvania. All entities may review the final plan to determine its conformance to the provisions contained in these regulations. The Township staff shall take no official action on such application until reports from the above are received or expiration of 30 days from the date the application is filed, whichever comes first.
- (3) The final review of the plan shall be conducted by the Township staff and shall be limited to determining if the plan conforms to the plan which received tentative approval, including all conditions and modifications required by the Township Council, and if the requirements for final plan approval as listed under §145-13 have been met.
- (4) If the plan submitted for final approval only varies with minor plan changes from the plan granted tentative approval, it shall be the responsibility of the applicant or his representative to bring such changes to the attention of Township Staff. Failure of the applicant to bring said changes to the attention of the Township Staff shall constitute an abandonment of the tentatively approved plan.
- (5) For plans containing variations from the development plan given tentative approval, refer to §145-10-E.
- (6) As a condition of approval, the applicant shall agree to comply with the following sections:
 - (a) Permit the Township Engineer to make periodic site inspections as specified in §145-10-F.
 - (b) In order to guarantee the completion of any improvements required as a condition for final approval of the plan, the applicant shall submit a corporate bond as specified in §145-10-G.
 - (c) In the event that a development plan or section thereof is given final approval and thereafter the landowner abandons a portion or the entirety of the plan, no further development shall be permitted as specified in §145-10-H.

K. Record Plan

- (1) Record Plan submissions shall be as specified in §145.11

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§200-65 PLAN REQUIREMENTS

A. Sketch Plan Requirements

- (1) Sketch Plan Requirements: Sketch plans submitted for review shall include the following information:
 - (a) General location and acreage of each zoning district.
 - (b) General location of non-residential, residential, or civic buildings.
 - (c) General location of civic spaces and public facilities, if any.
 - (d) Location of existing and planned roads, trails and other transportation modes.
 - (e) Location of potential and required connections to other parcels in Dale Summit.
 - (f) Overall proposed development program.
 - (g) Narrative describing the project and indicating general compliance with “[Figure 16. Regulating Map](#)” and the Dale Summit FBC. If deviations from the code are anticipated, a justification is required,

B. Preliminary Plan Requirements

- (1) Preliminary Plan Requirements: Preliminary plans submitted for review shall provide all the documents listed in [§145-12](#), in addition to the following information:
 - (a) Aerial photo base map with the site plan overlay.
 - (b) Zoning district boundaries, and any special requirements identified on “[Figure 16. Regulating Map](#)” and the Dale Summit FBC, including demonstrated compliance with:
 - [1] Block perimeter standards.
 - [2] The form standards for each zoning district.
 - [3] Building Placement standards.
 - [4] Types of civic open spaces.
 - [5] Street type designation for all proposed streets.
 - [6] Sign standards, if relevant.

C. Final Plan Requirements

- (1) Plans submitted for final review shall include all information required in “[B. Preliminary Plan Requirements](#)” above. Where applicable, the final plan for the development shall meet the plan requirements contained in the following Township ordinance sections, as amended:
 - (a) Article II, Plan Review Procedures, [§180-11, Contents of final plan](#), of [Chapter 180, Subdivision of Land](#). The following sections are excluded:
 - [1] Chapter 200 Zoning
 - (b) [Article IV, Stormwater Management Plan Requirements](#), of Chapter 175.
- (2) Should a developer desire to incorporate a sign(s) at a main entrance to a residential developments which does not conform to the criteria outlined in [Chapter 170, Signs](#), said sign(s) shall be submitted to Council as part of the application for the residential development. This section is intended to encourage innovativeness, creativity and aesthetic consideration in the development of signs at the main entrances to residential developments only. Should the Council find that the proposed sign(s) does not lend itself to the intents of this section and that said sign should not be included in the residential development, then the location and design of the sign(s) will be governed by the criteria stipulated in [Chapter 170, Signs](#).

D. Administrative Waivers

- (1) Purpose: An Administrative Waiver is intended to allow minor, non-substantial adjustments to certain dimensional, numerical, and development standards of the Dale Summit FBC based on specific review criteria, where application of a standard creates practical difficulties in allowing development that otherwise advances the purposes served by the standards of the Dale Summit FBC and the Dale Summit Area Plan, and is compatible with surrounding development. An Administrative Waiver is also intended to provide limited flexibility to allow alternative design that is equal to or better than that afforded by strict application of certain dimensional or numerical standards. Administrative Waivers are not intended to relieve specific cases of financial hardship, nor to allow circumventing of the intent of the Dale Summit FBC. Inability to achieve the maximum development permitted in a given zoning district will not be considered grounds for the granting of an Administrative Waiver.
- (2) Applicability: Administrative waivers are only permitted to modify the specific standards described in “[Table 35 Administrative Waiver Criteria](#)”, that are deemed to have no effect on adjacent properties, and that demonstrate the request is consistent with the intent of the zoning district in which it is located and meets at least one of the following criteria:
 - (a) **Improved Design:** The Administrative Waiver results in better design that is consistent with the desired character for Dale Summit and achieves the intent of the Dale Summit FBC in an alternative but equally effective manner.
 - (b) **Innovative Solutions:** The Administrative Waiver enables innovation in architecture, sustainability, or technological application that is consistent with the intent of the Dale Summit FBC and the vision statement for the Dale Summit Area Plan.
 - (c) **Environmental Protection:** The Administrative Waiver conserves or enhances environmental assets of the site or adjacent sites.
 - (d) **Site Limitations:** The Administrative Waiver responds to limitations related to the size, shape, or natural features of the site.
- (3) Administrative Waivers Review Process.
 - (a) The application shall be reviewed by the Zoning Officer or designee.
 - (b) An applicant denied an administrative waiver may apply for a variance and shall follow the Township’s process for a variance.

Article XII

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TABLE 35 ADMINISTRATIVE WAIVER CRITERIA

TYPE	CRITERIA	MAXIMUM WAIVER
Topographic Constraints		
Block Perimeter	Topographic constraints or adjacent ownership limit the ability to create an interconnected network of streets and blocks.	20% max.
Lot Dimensions		
Lot width greater than the maximum permitted width	An existing parcel can be developed following the intent of the zoning district and meet all other applicable standards of the district.	10% max.
A decrease in the minimum required parcel width.	An existing parcel can be developed following the intent of the zoning district and meet all other applicable standards of the zoning district; and the modulation will allow the proposed development to be consistent with adjacent development.	10% max.
Parking Location		
Parking - Location setback from building facades	The lot is wider than 35 feet; The lot is sloped more than 10% uphill away from the sidewalk; The ground floor of the main building is no more than 6 feet above sidewalk grade; Parking is proposed to be entirely enclosed under the main building; The proposed garage door is 9 feet wide or less.	Reduction in the parking location setback from building facades to equal the main building front setback.
Parking - Number of Spaces	One of the following: - Modification is necessary to save an existing significant tree or provide a civic open space. - A change of use of less than 10,000 SF in which no additional square footage will be constructed, and site conditions make compliance with the required parking spaces impossible or impractical.	The greater of 10% of total spaces required or 10 parking spaces.
Setbacks		

TABLE 35 ADMINISTRATIVE WAIVER CRITERIA

TYPE	CRITERIA	MAXIMUM WAIVER
A decrease of the minimum setback or increase to the maximum setback.	Existing development on adjacent parcels on the same block face is more similar to the proposed setback than the required setback; The modulation will allow the proposed building to blend in with the adjacent buildings. For an increase to the maximum setback, the building will be fronted by a civic space and the extra space between the building and ROW will not be used for parking	5' or 40% max., whichever is greater for minimum setback waiver. Up to 10 feet for the maximum setback waiver.
A relaxation of the specified build-to-line.	Existing development on adjacent parcels on the same block face is more similar to the proposed setback than the required setback; The modulation will allow the proposed building to blend in with the adjacent buildings.	8' max or 10% max. of the lot width, whichever is greater.
Allow buildings to be placed closer or further from a parcel line due to existing site features, such as trees, watercourses or topographical changes.	Existing site features would be negatively impacted if buildings follow the required setback, or The constraint of existing site features would not allow for construction of habitable spaces within buildings.	20% max.
Civic Spaces		
A relaxation in the meeting the civic space type standards	Site or development conditions make compliance with the standards impossible or impractical.	10% max.

E. Council Waivers

- (1) Permit Council to waiver requirements for innovative designs or unique solutions that comply with code requirements.

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F. Incentives For Community Benefits

(1) Purpose:

- (a) An applicant may request bonus building height or development capacity in exchange for a contribution that provides benefits to the public.

(2) Applicability:

- (a) The bonus height, above that which is otherwise permitted by this Code, may be permitted if the proposed development contributes towards a community benefit in the amount and manner specified here.

[1] An additional half-story for the use of permeable pavers for parking areas in excess of ½ acre in order to increase storm water infiltration on site.

[2] An additional half story may be granted with the provision of a playground with an accompanying Open Space to be selected from “[Table 1 Civic Space Types](#)”, for every 40 acres of land. The playground shall meet the following requirements:

[i] Shall be provided within Open Space Types which permit a playground, according to “[Table 2 Uses Within Civic Spaces](#)”.

[ii] The selected Open Space Type shall meet the requirements of “[Table 1 Civic Space Types](#)”.

[iii] A playground shall at a minimum include a swing set, a slide, and a play set, per the discretion of the Planning Manager.

[3] An additional story for the redevelopment of a brownfield site.

[4] An additional story for an equivalent square footage of workforce housing. This shall not be applicable to properties abutting single-family lots.

[5] An additional half-story for providing a pedestrian passage according to “[Table 1 Civic Space Types](#)”, connecting a planned or existing thoroughfare.

[6] An additional story for providing a public street to connect to an existing or planned street. The street shall connect to a network or planned network at either end of the property.

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