



COLLEGE TOWNSHIP PLANNING COMMISSION
REGULAR MEETING AGENDA
Tuesday June 17, 2025
7:00 PM
Hybrid Meeting (In-Person or via Zoom)

General Meeting Information

College Township offers both in-person and virtual meeting attendance for all public meetings. To attend in-person, meetings will be held at 1481 E. College Avenue, State College PA, 16801, 2nd floor meeting room. To attend virtually, please see the information below.

To Attend the LIVE Meeting Via Zoom on Computer or Smart Phone:

- [Click here to REGISTER for the meeting via Zoom](#). Once registered, you will receive a confirmation email containing information about joining the meeting.

To Attend the LIVE Meeting Via Phone:

- **Dial: 1 (646) 558-8656 ● Meeting ID: 865 0310 7787 ● Passcode: 861519**

*[Click Here](#) for detailed instructions on how to participate via zoom.

VIRTUAL PUBLIC COMMENTS: Please use the raised hand feature to participate. The moderator will recognize those with their hands raised (either by name or phone number).

WRITTEN PUBLIC COMMENTS: For specific Planning Commission agenda items and for items not on the agenda, written public comments may be submitted in advance by emailing smeyers@collegetownship.org by noon the day of the meeting.

CALL TO ORDER:

ZOOM MEETING PROTOCOL:

OPEN DISCUSSION (items NOT on the agenda):

CONSENT AGENDA: CA-1 June 3, 2025 Meeting Minutes
(Approval)

PLANS: P-1 Dreibelbis Street Medical Office Preliminary Land Development Plan
(Discussion/Recommendation)

OLD BUSINESS: OB-1 Hybrid/Form Based Code
(Discussion)

NEW BUSINESS: None

REPORTS: R-1 Council Report

STAFF INFORMATIVES: SI-1 Approved Council Minutes

OTHER MATTERS:

ANNOUNCEMENTS: Next regular meeting will be **Tuesday, July 15, 2025** at 7:00pm

ADJOURNMENT:



COLLEGE TOWNSHIP PLANNING COMMISSION
REGULAR MEETING MINUTES
June 3, 2025
1481 E. College Avenue State College PA 16801
Hybrid Meeting (In-Person or via Zoom)

PRESENT:	Ed Darrah, Chair Matthew Fenton, Vice Chair Peggy Ekdahl, Secretary Ray Forziat Tad Rimmey
EXCUSED:	Suleman Din Ash Toumayants
STAFF PRESENT:	Adam Brumbaugh, Township Manager Don Franson, P.E., P.L.S., Township Engineer Lindsay Schoch, AICP, Principal Planner Mark Gabrovesk, Zoning Officer Sharon Meyers, Senior Support Specialist – Engineering/Planning

CALL TO ORDER: Mr. Darrah called the meeting to order at 7:00 p.m.

ZOOM MEETING PROTOCOL: Mr. Darrah verified there were no members of the public present via Zoom and protocol was not reviewed.

OPEN DISCUSSION: None presented.

CONSENT AGENDA:

CA-1 May 21, 2025 PC Meeting Minutes

Mr. Forziat moved to approve the May 21, 2025 meeting minutes as written.

Mr. Fenton seconded.

Motion carried unanimously.

PLANS: No *Plans* were presented.

OLD BUSINESS:

OB-1 Hybrid/Form Based Code

Mr. Darrah introduced the Hybrid/Form Based Code binders provided to the Planning Commission members while Ms. Schoch distributed a handout for discussion. Included in the binder are the original remand from Council to the Planning Commission, The Dale Summit Area Plan Report from October 2023, a Market Analysis, the fourth version of Chapter 200 Article 12 the Dale Summit Area Form Based Code, and other documents and presentations to date.

Ms. Schoch reviewed some goals to be accomplished during the meeting which include, a discussion on why lot depth is not regulated, establishing setbacks, and encroachments into setbacks. She also presented the following meeting reminders:

- Form Based Zoning applies only within the Dale Summit Area Plan Boundary
- Form Based Zoning is designed for density
- Form Based Zoning prioritizes how buildings meet the street



Ms. Schoch described lot occupation and gave reasons why lot depth is not regulated including, depth has less impact on the streetscape, and allowing property owners to adjust lots based on natural topography. By not regulating lot depth arbitrary lot shapes can be avoided.

The Planning Commission was presented with minimum and maximum front yard setbacks for each district. There was concern that setting maximum front yard setbacks could limit developers, particularly if lot depths remain unregulated. However, after discussion, it was determined that establishing a maximum setback from the street would help prioritize how buildings meet the street, aligning with principles of Form Based Zoning.

The following is the result of the discussion on front yard setbacks by district:

District	Minimum Front Setback	Maximum Front Setback
Mixed-Core Single Family	6 feet	12 feet
Mixed-Core Multifamily/Nonresidential	To be determined*	
Mixed-Neighborhood Single Family	8 feet	18 feet
Mixed-Neighborhood Multifamily/Nonresidential	To be determined*	

*staff to clarify so Form Based Zoning will function as intended

The Planning Commission reviewed proposed side yard setbacks. Ms. Schoch noted that the consultant and staff recommend setbacks of either zero or five feet to maintain consistency. While some concerns were raised regarding fire safety, the Planning Commission generally supported the recommended setbacks, provided clarification from Centre Region Code regarding applicable fire safety requirements.

Next the Planning Commission reviewed rear yard setbacks. Following a brief discussion and a recommendation from Mr. Gabrovsek to differentiate between habitable and accessory structures, the Commissioners agreed on the need to separate rear setback requirement. This includes distinguishing whether a lot abuts another lot or an alley.

Lastly, Ms. Schoch introduced the topic of encroachments into the setback. She noted, in a previous meeting, the Planning Commission agreed that no projections would be permitted into the right-of-way. Ms. Schoch provided examples of potential setback encroachments including, façade decorations, canopies, arcades, and bay windows. The Planning Commission reached a consensus that the Township should not regulate elements located more than twelve feet above ground level. It was also suggested that each setback specification should indicate whether encroachments are permitted.

NEW BUSINESS: No *New Business* presented.

REPORTS: No *Reports* presented.

STAFF INFORMATIVES:

SI-1 Zoning Bulletins

There was no further discussion of the Zoning Bulletins provided.

SI-2 Approved Council Minutes

There was no further discussion of the approved Council minutes provided.

OTHER MATTERS: No *Other Matters* presented.

ANNOUNCEMENTS:

Mr. Darrah announced the next meeting will be held on Tuesday June 17, 2025 at 7:00 p.m.



ADJOURNMENT:

Mr. Fenton moved to adjourn.

Mr. Forziat seconded.

Motion carried unanimously.

Meeting adjourned at 8:24 p.m.

*** Draft ***

Sharon E. Meyers
Senior Support Specialist – Engineering/Planning

*NARRATIVE STATEMENT**Dreibelbis Street Medical Office
Preliminary Land Development Plan**November 15, 2024*

Received

NOV 18 2024

College Township
ENGINEERING OFFICE

Dr. Christine Weikert is proposing construction of a new medical office to be located along Dreibelbis Street on tax parcel 19-2B-95. The lot is currently owned by Wasatch Mountain Realty, LLC. The lot currently contains abandoned farm related structures including a barn, silos and out-buildings and is bound by Dreibelbis Street to the north, existing commercial lots to the south, vacant land to the east and the new KIA dealership to the west. Total Lot acreage is 1.040 acres. The developer is proposing construction of the 8,032 sf medical office building.

The lot is located in the General Commercial (C-1) zoning district. Access will be from Dreibelbis Street via a new driveway connection. New sidewalk is proposed along Dreibelbis Street fronting the development. Dreibelbis Street is a 24' wide Township Road (TR 363) with a variable R-O-W width. A formal traffic impact study is not required for this project in that trip generation is low. Anticipated trips at full build-out (8,032 g.s.f.) per current ITE Manual is as follows: 200 trips per day including 20 AM peak hour trips/35 PM peak hour trips.

Stormwater runoff rate, volume and water quality will be managed by conveying runoff to a new facility fronting the proposed building. This facility will include a combination of above and below ground storage. Runoff rate will be managed for all storm events up to and including the 100-yr event. Volume and water quality control will be implemented for the 2-yr/24 hour storm. Existing utilities are available on-site or will be extended to the property. Each phase of the development will be served by all public utilities including water and sewer. Landscaping and lighting will be in accordance with Township ordinance requirements. All existing and proposed easements are indicated on the plan.

This plan was approved by College Township in 2009 and 2016. The 2016 approval expired and this submission will obtain necessary re-approvals.

Since 2016, the updated plan includes a revised location for the ADA-accessible sidewalk originating at Dreibelbis Street, near the site's entrance. The sidewalk relocation resulted in the loss of three parking stalls. Even with the loss of these stalls, the project meets the township parking requirements.

DEMOLITION NOTES:

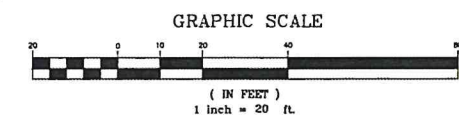
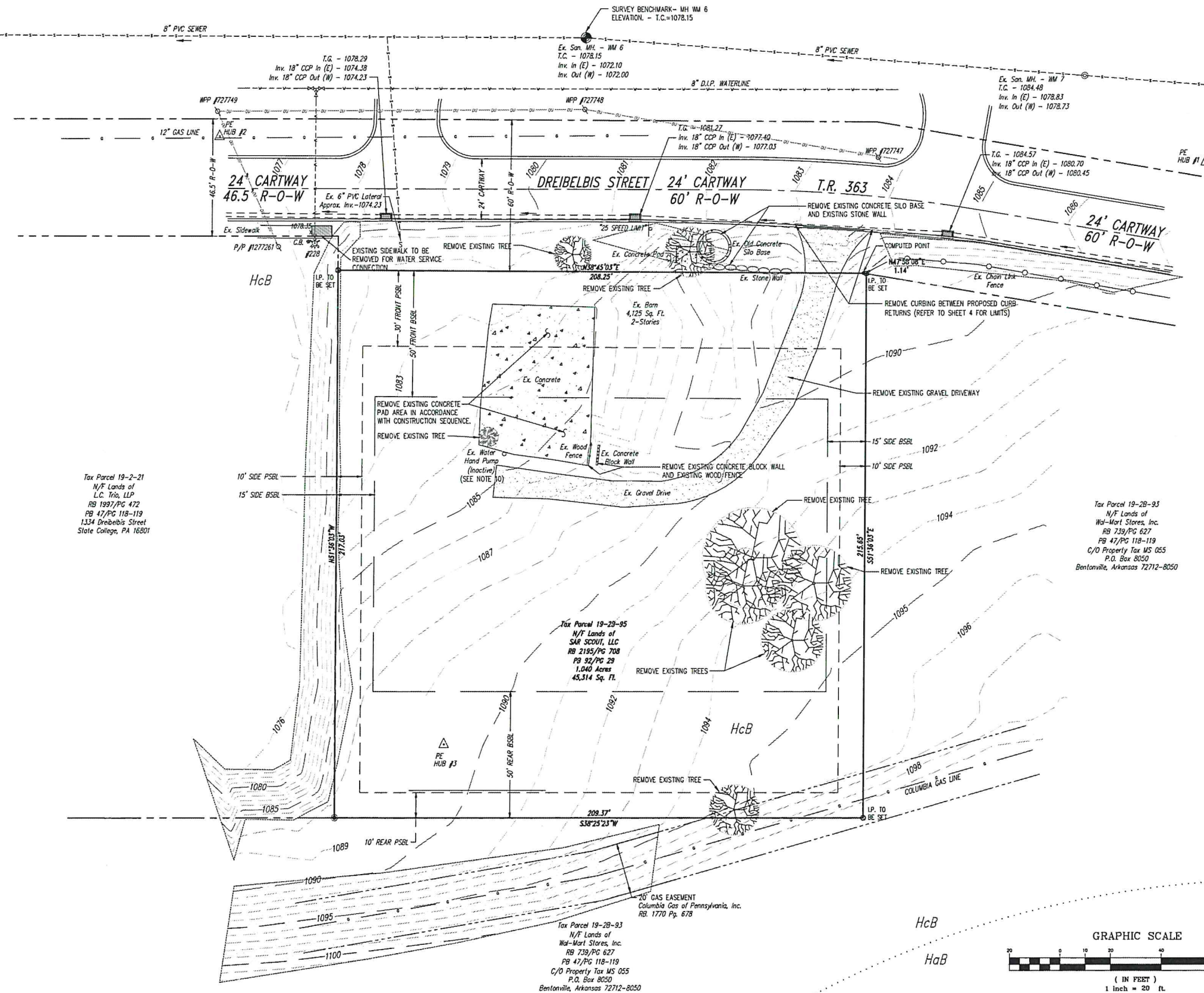
- Field survey data provided by PennTerra Engineering, Inc. Contractor shall verify all information and contact PennTerra Engineering, Inc. in the event of a discrepancy.
- Project Benchmark: Manhole - MM 6 located directly across Dreibelbis Street from property. Top of Casting = 1078.15
- Contractor shall verify the location of manholes, inlets, valves, etc. Contractor shall test pit existing utilities as deemed necessary within the limits of construction to determine the exact location and depth as required. Report any discrepancies from that indicated on the plan to PennTerra Engineering, Inc. All existing utilities shall be retained unless marked otherwise, and appurtenances shall be adjusted to final grade. Damage to existing conditions and utilities to remain shall be repaired as required to the Owner's satisfaction at the expense of the Contractor.
- All existing utilities not to be removed or abandoned are to remain operational at all times. Appropriate existing utilities shall remain in service until replacement/relocated utilities are operational.
- All areas disturbed during construction, not designated to receive paving or mulch shall be fine graded and seeded.
- Contractor shall repair or replace all curb, pavement, utilities, sidewalks, landscaping, etc., within the site damaged during construction that are not indicated to be removed.
- Contractor shall be responsible for all costs and work required to adjust existing and proposed utilities and appurtenances to finish grades within the limits of work.
- All paving to be removed shall be sawcut to provide a sharp clean edge. Existing pavement shall be removed as required for new curb, walkway or utility construction. Refer to detail sheet for specific curb type of installation. Contractor shall then mill and / or patch paving and install scratch course as required to meet existing or proposed grades. All new paving joints shall be sealed with AC-20.
- Contractor shall coordinate with Owner on the sequence of demolition and construction.
- Contractor responsibility: Existing water well shall be abandoned (decommissioned) in accordance with Act 610 of the Water Well Drilling License Act. Contractor is responsible for notifying the Bureau of Topographic and Geologic Survey by completion of the well abandonment form available on the Pennsylvania Department of Conservation and Natural Resources web site. Any required Centre Region Code Permits will be obtained.

LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Parking Setback Line
- Roadway Center Line
- LP Found
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing 8" Sanitary Sewer w/ Manhole
- Existing Water Line
- Existing 6" PVC Sanitary Sewer Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line
- Existing Fire Hydrant
- Existing Curb Box/Valve
- Existing Tree or Shrub
- Existing Overhead Utility Line with Utility Pole
- Existing Sign
- Existing Depressed Curb
- Existing Steep Slopes

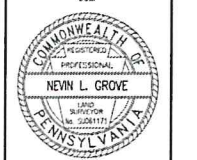
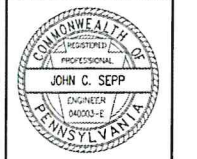
Soils Legend

- Soil Boundary Line
- Soil cover on the site consists of:
HcB - Hagerstown silty clay loam, 3%-8% Slopes HcB



PennTerra ENGINEERING INC.
 3075 ENTERPRISE DRIVE
 SUITE 100
 STATE COLLEGE, PA 16801
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Designer(s) _____ MGH
 Environmental _____
 Proj. Manager _____ JCS
 Surveyor _____ BRK
 Perimeter Cl. _____
 Book 458 Pg. 20-22
 File 0908-17-20-1000
 Layout 02-EXCON

5-25 UTILITY CONSENT RESPONSE
 10-24 TOWNSHIP CONSENT RESPONSE
 11-24
 Date Description
 REVISIONS

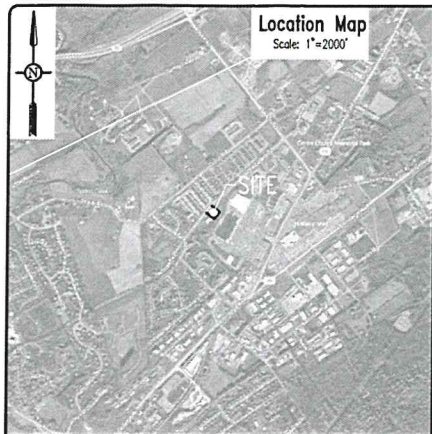
DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT NO.
09085
 DATE
NOVEMBER 15, 2024
 SCALE SHEET NO.
1"=20' 2



STORMWATER OWNERSHIP AND MAINTENANCE PROGRAM

All stormwater management facilities on the site of Dreibelbis not contained in a College Township Right-of-Way shall be owned and maintained by the developer. College Township, its agents and assigns shall have the uninterrupted right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

College Township and/or the Centre County Conservation District may require the Owner to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed stormwater management and permanent erosion and sediment pollution control facilities at this project site. The Owner shall immediately notify the College Township and Centre County Conservation District prior to initiating any major repair activities.

The Owner hereby acknowledges College Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owner acknowledges College Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by College Township shall be at the expense of the Owner.

The facilities that will require maintenance are the inlets, storm sewer pipes, rip-rap aprons, infiltration sumps and detention basin. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- The proposed storm sewer pipe inlets and outlets shall be cleaned of all debris, litter, and other deleterious material.
- The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
- The detention basin shall be cleaned of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. The outlet structure and stone trench shall be kept clean of trash and debris.
- The detention basin sump and perforated pipe may also need cleaned of debris, litter and other deleterious material. If the sump becomes clogged or begins to malfunction, the College Township Engineer has the right to require the sumps be restored/repared to proper functioning as originally designed and approved.

LEGEND PROPOSED FEATURES

- PROPOSED BUILDING
- LP. TO BE SET
- COMPUTED POINT
- PROPOSED CURBING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PAINTED HANDICAP PARKING SYMBOL
- PROPOSED PAINTED HANDICAP PARKING SYMBOL (VAN)
- PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA
- PROPOSED BITUMINOUS PAVEMENT AREAS
- NUMBER OF PARKING STALLS

SURVEY BENCHMARK - MH WM 6
ELEVATION - T.C.=1078.15

LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Parking Setback Line
- Roadway Center Line
- LP, Found
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Storm Sewer Line w/ Inlet
- Existing Utility Pole
- Existing Sign
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole

Owners Certification

Commonwealth of Pennsylvania
County of Centre

On this the _____ day of _____, 20____,

personally appeared before me and certified that they were the owners of the premises shown on this plan and acknowledged the same to be their act and plan and designs, the same to be recorded as such, according to the law.

Legal Owner

witness my hand and seal, this date _____

Notary Public

Commission Expires

Storm Water Facilities Acknowledgement

I, the landowner, acknowledge the Stormwater Management System is to be maintained in accordance with the approved Ownership and Maintenance Program and shall remain a permanent feature which can be altered only after approval of a revised plan by the Township of College.

Owner

Date

Professional Land Surveyor Certification

I, Nevin L. Grove, a Professional Land Surveyor in the Commonwealth of Pennsylvania, do hereby certify that this plan correctly represents the tracts of lands as shown.

Signature

Date

Storm Water Certification

I, _____, hereby certify that the Stormwater Management Plan meets all design standards and criteria of the College Township Stormwater Management Ordinance.

Municipal Storm Water Certification

I, _____, 20____, have reviewed the Stormwater Management Plan in accordance with the design standards and criteria of the College Township Stormwater Management Ordinance.

Fire Chief Certification

I have reviewed and hereby certify that the location of Fire Lanes and Fire Hydrants shown on this plan are adequate.

Fire Chief

Date

Township Council

College Township Council Approved

Chairman

Secretary

Date

Date

Township Planning Commission

College Township Planning Commission Approved

Chairman

Secretary

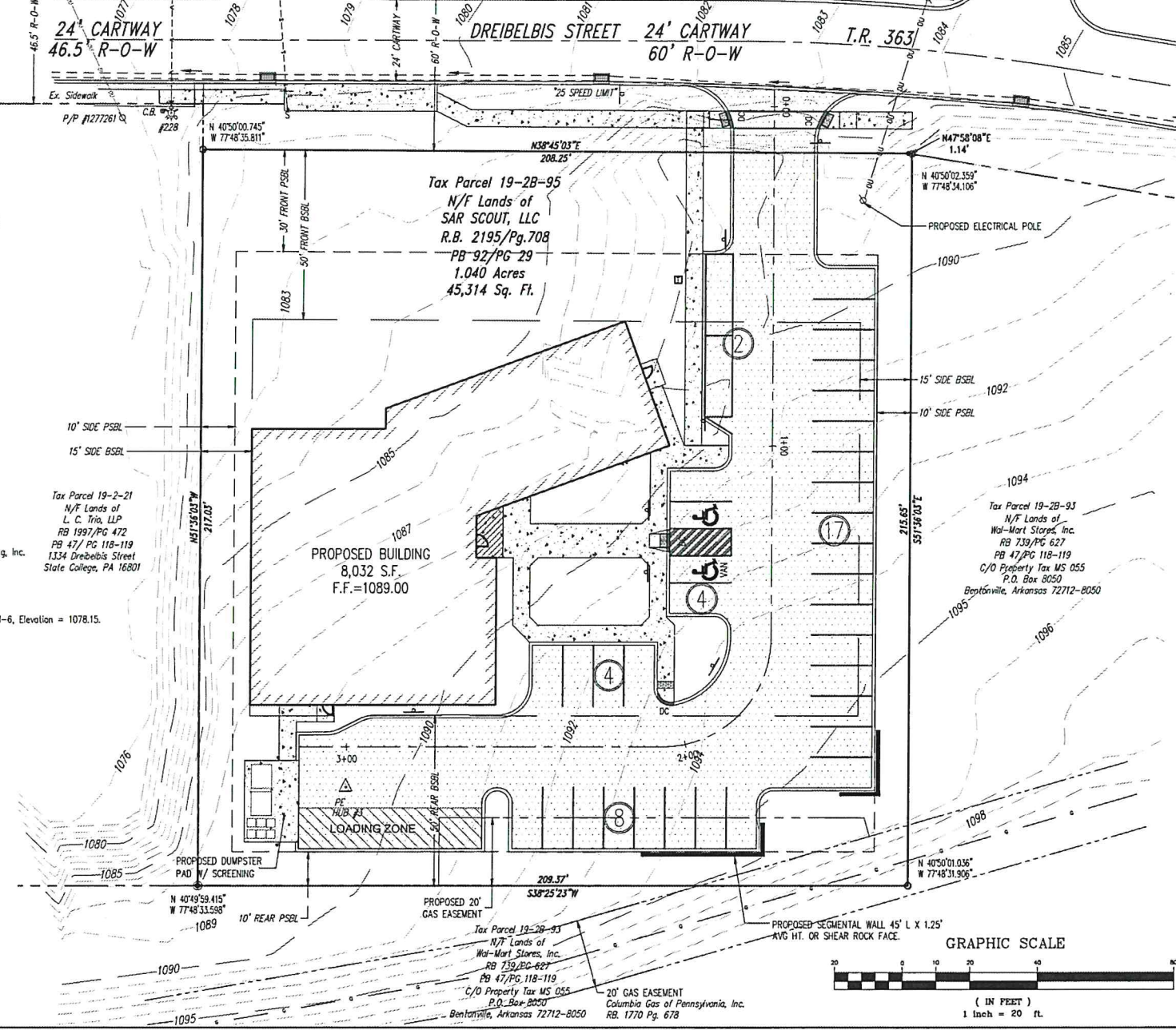
Date

Date

Recorder of Deeds

PROJECT NOTES:

- General Site Information:
 - Owner of Record: SAR SCOUT, LLC, 1333 S. Allen St., Suite 3, State College PA 16801
 - Street Address: 19-2B-95
 - Tax Parcel No.: RB 2195 / PG 708
 - Title Source: (C1) (General Commercial)
 - Zoning: Existing-Vacant Farm / Proposed - Medical Office
 - Site Use: 45,314 SF - 1.040 Acres
 - Building Setbacks: 50' (Front & Rear) 15' (Side)
 - Parking Setbacks: 30' (Front), 10' (Rear & Side)
 - Building Height: 29' (Existing), 18'-6" (Proposed), 45' (Allowable)
 - Property Address: 1348 Dreibelbis Street, State College, PA 16801
 - Building Coverage: 5,720 SF / 12.62% (Existing), 8,032 SF / 17.73% (Proposed), 13,719 SF / 30.00% Max. Buildings (Allowable)
 - Impervious Coverage: Existing: 5,720 S.F. (Bldg.), 2,654 S.F. (Concrete Pods), 2,470 S.F. (Gravel Drive), 10,844 (Total Sq. Ft.), 23.93 (Total %); Proposed: 8,032 S.F. (Bldg.), 15,646 S.F. (Driving Lanes/Parking), 1,727 S.F. (Sidewalks), 25,405 (Total Sq. Ft.), 56.06 (Total %); Allowable: 31,719 S.F. - 70%
 - Basin design accounts for 0.70 acres of impervious coverage; 5,087 square feet of impervious is available for future development.
- ACT 287 Utility Information: (Serial No. 20242432653)
 - Electric: FirstEnergy Corporation, 21 S Main St, Akron, OH 44308 - Phone: 330-604-4073
 - Telephone: Verizon Pennsylvania LLC, 40 S Mercer St, Newcastle, PA 16101 - Phone: 724-656-5224
 - TV Cable: Comcast, 13805 Hamilton Crossing Blvd Ste 200, Carmel, IN 46032 - Phone: 800-762-0592 EXT. 3
 - Gas: Columbia Gas, 1600 Dublin Rd, Columbus, OH 43215 - Phone: 614-325-5961
 - Sanitary Sewer: University Area Joint Authority, 1576 Spring Valley Road, State College, PA 16801 - Phone: 814-238-5361
 - Water: College Township Water Authority, 1481 East College Avenue, State College, Pa. 16801 - Phone: 814-231-3021
- Parking Information:
 - Total Required Parking: 1 space per 250 SF = 8,032 SF / 250 = 32 spaces
 - Total Proposed Parking: 33 regular parking spaces + 2 handicap spaces
- Project References:
 - Erosion and Sedimentation Control Plan and Narrative, for Dreibelbis St. Medical Office, dated November 15, 2024, prepared by PennTerra Engineering, Inc.
 - A Project Narrative has been prepared by PennTerra Engineering, dated November 15, 2024.
 - A plan entitled "Subdivision and Replat of lands of P. Jules Pata and Fred L. Metzger", as recorded at the Centre County Recorder of Deeds Office in Plot Book 47, Page's 118-119.
- Contours shown are taken from an actual field survey and are based on U.S.G.S. datum. Project Benchmark - Top of casting of existing manhole WM-6, Elevation = 1078.15.
- All soils on site are Hagerstown silty clay loam, 3-8% slopes.
- The date of the application for Zoning Permit is December 9th, 2024.
- Estimated Development Schedule: Final Submission Approval January 2025, Construction Commencement Fall 2025, Construction Completion Spring 2027
- All signs must utilize high intensity reflective sheeting.
- A Soil Erosion and Sedimentation Control Plan has been prepared by PennTerra Engineering, Inc.
- Prior to construction, the contractor shall verify locations of all underground utilities by test pits and by contacting the servicing utility company.
- Prior to construction, the contractor shall verify all building dimensions and utility entry/exit locations with architectural drawings.
- Man-made items within building setbacks include existing and proposed utilities, dumpster enclosure, paved parking and retaining wall.
- As-Built drawings of the stormwater facilities constructed must be provided to the Township prior to occupancy.
- Preliminary approval shall not authorize construction or the issuance of any building or zoning permit.
- Hydrant #228 on Dreibelbis Street: Static Pressure = 68 psi, Residual Pressure = 45 psi, Flow Rate = 1,130 GPM.
- DSAME and O&M Agreement has been recorded at _____



PennTerra ENGINEERING INC.
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JOHN C. SEPP
ENGINEER
040033-E
PENNSYLVANIA

NEVIN L. GROVE
ENGINEER
040033-E
PENNSYLVANIA

Designer(s) _____ MGH
Environmental _____ JH
Proj. Manager _____ ACS
Surveyor _____ BRK
Perimeter Q. _____
Book 458 Pg. 20-22
File 2024-19-10-24
Layout 03-SP

5-23 UTILITY COMMENT RESPONSE
12-24 TOWNSHIP COMMENT RESPONSE
Date Description
REVISIONS

DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

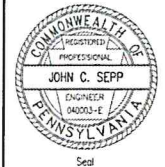
SITE RECORD PLAN

PROJECT NO.
09085

DATE
NOVEMBER 15, 2024

SCALE SHEET NO.
1"=20' 3

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Designer(s) _____ MGH
 Environmental _____
 Proj. Manager _____ JCS
 Surveyor _____ BRK
 Perimeter Dk. _____
 Book _____ 458 Pg. 20-22
 File _____ 2024-09-24-24
 Layout _____ 04-SP

3-23 15% CIVIL RESPONSE
 10-14 10% CIVIL RESPONSE
 10-14 10% CIVIL RESPONSE
 Date Description
 REVISIONS

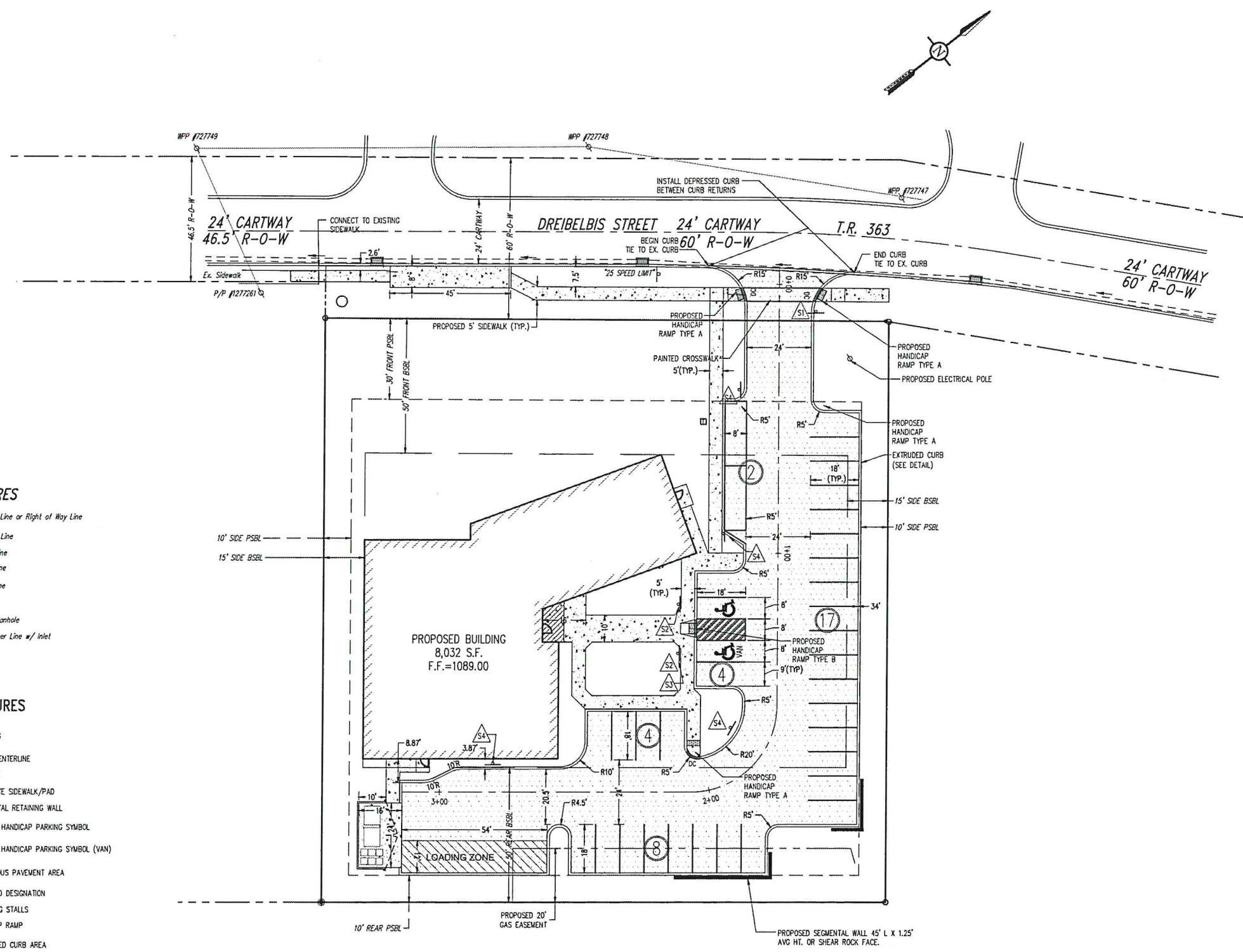
**DREIBELBIS ST.
 MEDICAL OFFICE**

COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND
 DEVELOPMENT PLAN

SITE GEOMETRY
 PLAN

PROJECT NO.
09085
 DATE
NOVEMBER 15, 2024
 SCALE SHEET NO.
 1"=20' **4**

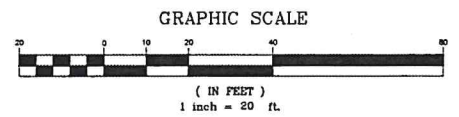


LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Parking Setback Line
- - - - - Roadway Center Line
- Existing Curbing
- Existing Sanitary Manhole
- - - - - Existing Storm Sewer Line w/ Inlet
- ▲ Existing Sign

LEGEND PROPOSED FEATURES

- ▨ PROPOSED BUILDING
- PROPOSED DRIVE CENTERLINE
- PROPOSED CURBING
- PROPOSED CONCRETE SIDEWALK/PAD
- PROPOSED SEGMENTAL RETAINING WALL
- ♿ PROPOSED PAINTED HANDICAP PARKING SYMBOL
- ♿ VAN PROPOSED PAINTED HANDICAP PARKING SYMBOL (VAN)
- ▨ PROPOSED BITUMINOUS PAVEMENT AREA
- ▲ PROPOSED SIGN AND DESIGNATION
- NUMBER OF PARKING STALLS
- ▨ PROPOSED HANDICAP RAMP
- DC PROPOSED DEPRESSED CURB AREA

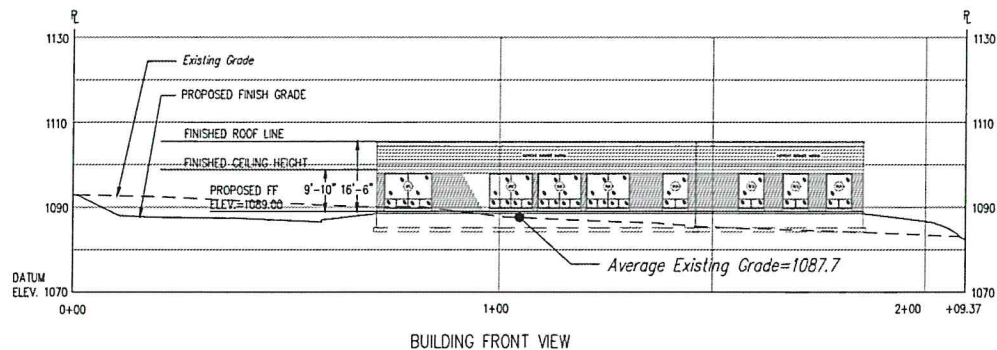


LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Easement Line
- - - - - Roadway Center Line
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Sanitary Manhole
- Existing Storm Sewer Line w/ Inlet
- Existing Sanitary Sewer w/ Manhole
- Existing Water Line w/ Valve
- Existing Gas Line
- Existing Overhead Utility Line w/ Pole

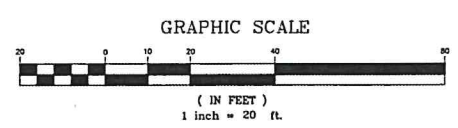
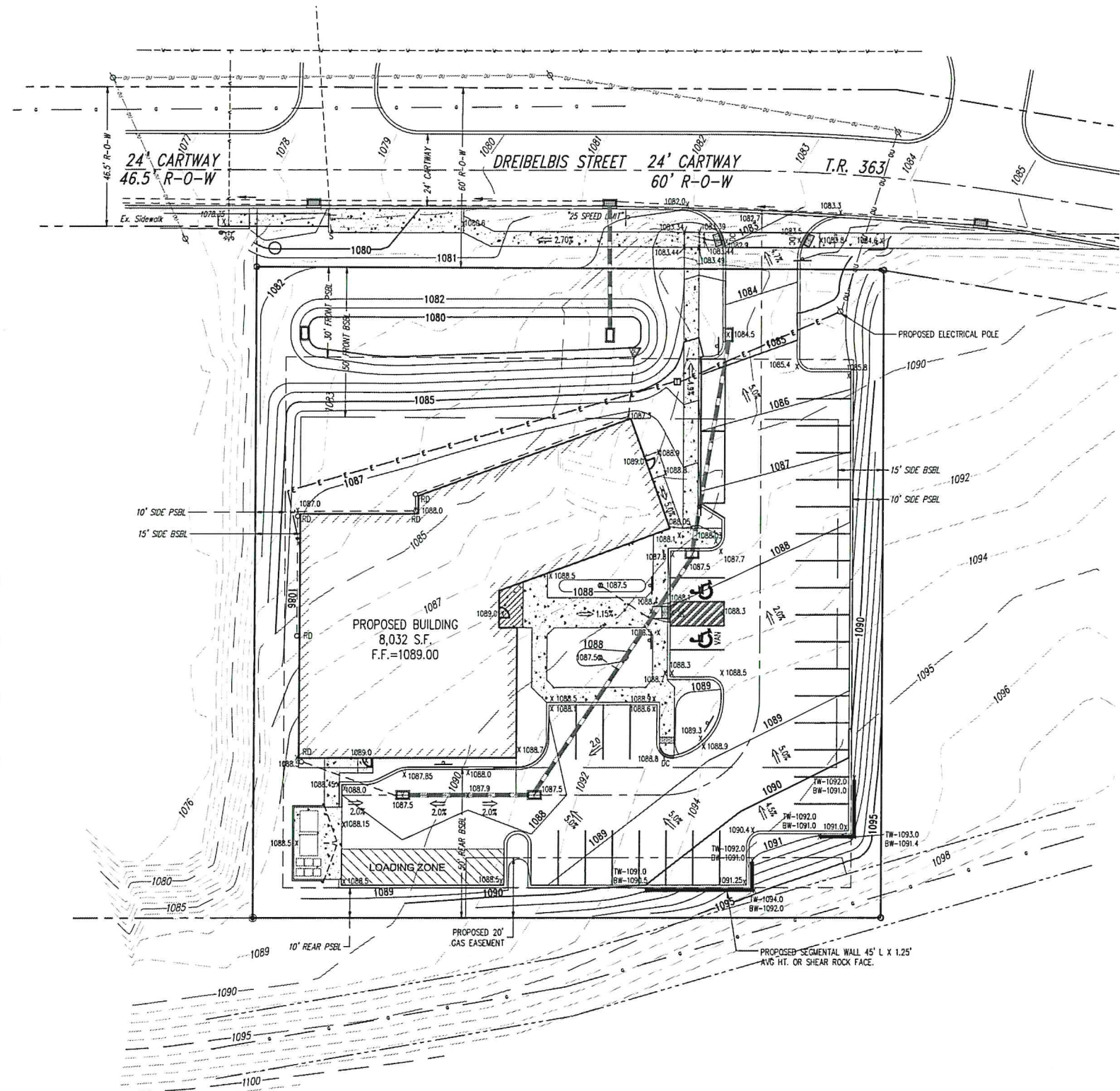
LEGEND PROPOSED FEATURES

- PROPOSED BUILDING
- 1109 PROPOSED MINOR CONTOURS W/ ELEVATION (1's & 2's)
- 1110 PROPOSED MAJOR CONTOURS W/ ELEVATION (5's & 10's)
- PROPOSED DRIVE CENTERLINE
- PROPOSED CURBING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SEGMENTAL RETAINING WALL
- PROPOSED STORM SEWER INLET
- PROPOSED PAINTED HANDICAP PARKING SYMBOL
- PROPOSED PAINTED HANDICAP PARKING SYMBOL (VAN)
- PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA
- PROPOSED FLOW/GRADING ARROW



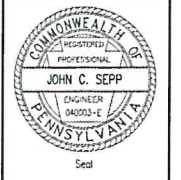
1. Maximum Allowable Height = 1087.70 + 45' = 1132.70
2. Proposed Building Height (FF to Finished Ceiling Height) = 1089.00 + 10' = 1099.00
3. Proposed Building Height (FF to Finished Roof Line) = 1089.00 + 16'-6" = 1105.50
4. Top of earthen pad elevation, under the building, is to be at an elevation 10 1/2" below the finished first floor elevation = 1089.00 - 10 1/2" = 1088.13

AVERAGE GRADE SECTION
SCALE: 1"=20'



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SUITE 100
STATE COLLEGE, PA 16801
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Designer(s)	MGH
Environmental	
Proj. Manager	JCS
Surveyor	BRK
Perimeter Cl.	
Book	458 Pg. 20-22
File	2024-11-28-24
Layout	05-02

DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE GRADING PLAN

PROJECT NO.	09085
DATE	NOVEMBER 15, 2024
SCALE	1"=20'
SHEET NO.	5

LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- - - - - Adjoining Property Line
- - - - - Building Setback Line
- - - - - Roadway Center Line
- LP, Found
- Existing Curbing
- - - - - Existing 8" Sanitary Sewer w/ Manhole
- - - - - Existing Water Line
- - - - - Existing Sanitary Sewer Lateral
- - - - - Existing Storm Sewer Line w/ Inlet
- - - - - Existing Gas Line
- ⊕ Existing Fire Hydrant
- ⊙ Existing Curb Box/Valve

LEGEND PROPOSED FEATURES

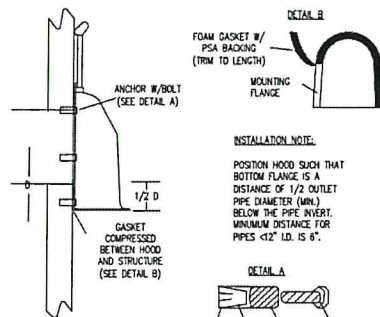
- ▭ PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED GAS LINE
- PROPOSED 1 1/2" K COPPER WATER LINE
- PROPOSED WATER VALVE
- PROPOSED 6" SCH. 40 SANITARY SEWER LATERAL W/ CLEANOUT
- PROPOSED STORM SEWER W/ INLET
- PROPOSED 6" ROOF DRAIN W/ CLEANOUT
- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED SEGMENTAL RETAINING WALL
- ⊕ PROPOSED PAINTED HANDICAP PARKING SYMBOL
- ⊕ PROPOSED PAINTED HANDICAP PARKING SYMBOL (VAN)
- ⊕ PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA
- ⊕ PROPOSED FIRE HYDRANT
- PROPOSED STONE SUMP
- PROPOSED CONCRETE SIDEWALK

Ex. San. MH - MM 5
T.C. - 1061.33
Inv. In (E) - 1055.14
Inv. Out (W) - 1055.04

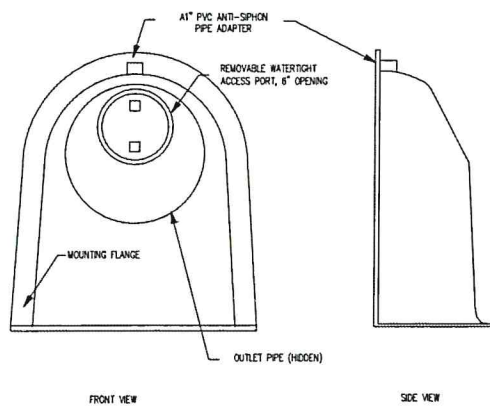
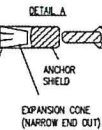
PROPOSED STORM DRAINAGE STRUCTURE DATA									
ID	STRUCTURE Type	TO ELEV	INVERT IN	INVERT OUT	PIPE RUN PIPE TYPE	LENGTH (FT)	SIZE (IN)	SLOPE	
EXISTING INLET	2 x 4 Precast Type C Modified Inlet w/ Bicycle Safe Grate	1081.27	1077.40	1077.03	OS-1 TO EXISTING	40.9	18	0.9	
OS-1	2 x 4 Precast Type M Inlet w/ Plastic Trach Rack (SEE DETAIL FOR MORE INFO.)	1080.95	1077.00	1075.00	1/4" TO OS-1	139.5	24	0	
Y-1	2 x 4 Precast Type C Modified Inlet w/ Bicycle Safe Grate	1084.50	1080.00	1077.00	1/2" TO Y-1	71	18	1.84	
Y-2	2 x 4 Precast Type C Modified Inlet w/ Bicycle Safe Grate	1087.50	1082.28	1082.18	1/2" TO Y-2	94	18	0.5	
Y-3	2 x 4 Precast Type M Inlet w/ Bicycle Safe Grate	1087.50	1082.05	1082.75	1/4" TO Y-3	40	18	1.00	
Y-4	2 x 4 Precast Type M Inlet w/ Bicycle Safe Grate	1087.50		1083.25					
Y-5	2 x 4 Precast Type M Inlet w/ Bicycle Safe Grate	1082.00		1077.25					

NOTES:

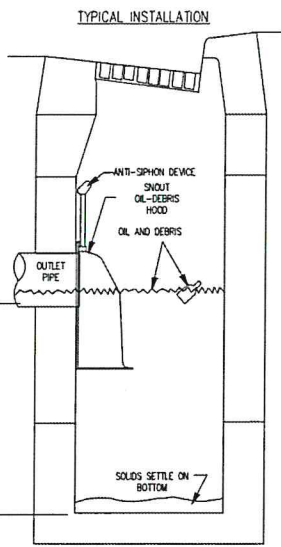
- ALL PIPES FROM YARD DRAINS Y-1 AND Y-2 TO SHALL BE 8" SCHEDULE 40 PVC SET @ A MINIMUM 1.0% SLOPE AND 1.5" MINIMUM COVER, UNLESS NOTED OTHERWISE.
- ROOF DRAIN MAINS TO BE 6" SCHEDULE 40 PVC SET @ A MINIMUM 1.0% SLOPE AND 1.5" MINIMUM COVER, UNLESS NOTED OTHERWISE.
- *A SNUOT SHALL BE INSTALLED OVER THE 24" OUTLET IN I-1. THE BOTTOM OF THE INLET SHALL BE SUMPED 68" (MIN.) BELOW THE 24" OUTLET PIPE.



INSTALLATION NOTE:
POSITION HOOD SUCH THAT BOTTOM FLANGE IS A DISTANCE OF 1/2" OUTLET PIPE DIAMETER (MIN.) BELOW THE PIPE INVERT. MINIMUM DISTANCE FOR PIPES <12" I.D. IS 6".



INLET I-1 SNUOT-30F DETAIL
NOT TO SCALE



INSTALLATION DETAIL

COLLEGE TOWNSHIP WATER AUTHORITY STANDARD CONSTRUCTION NOTES:

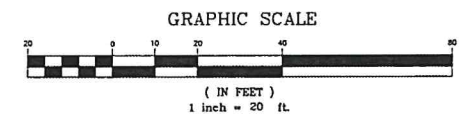
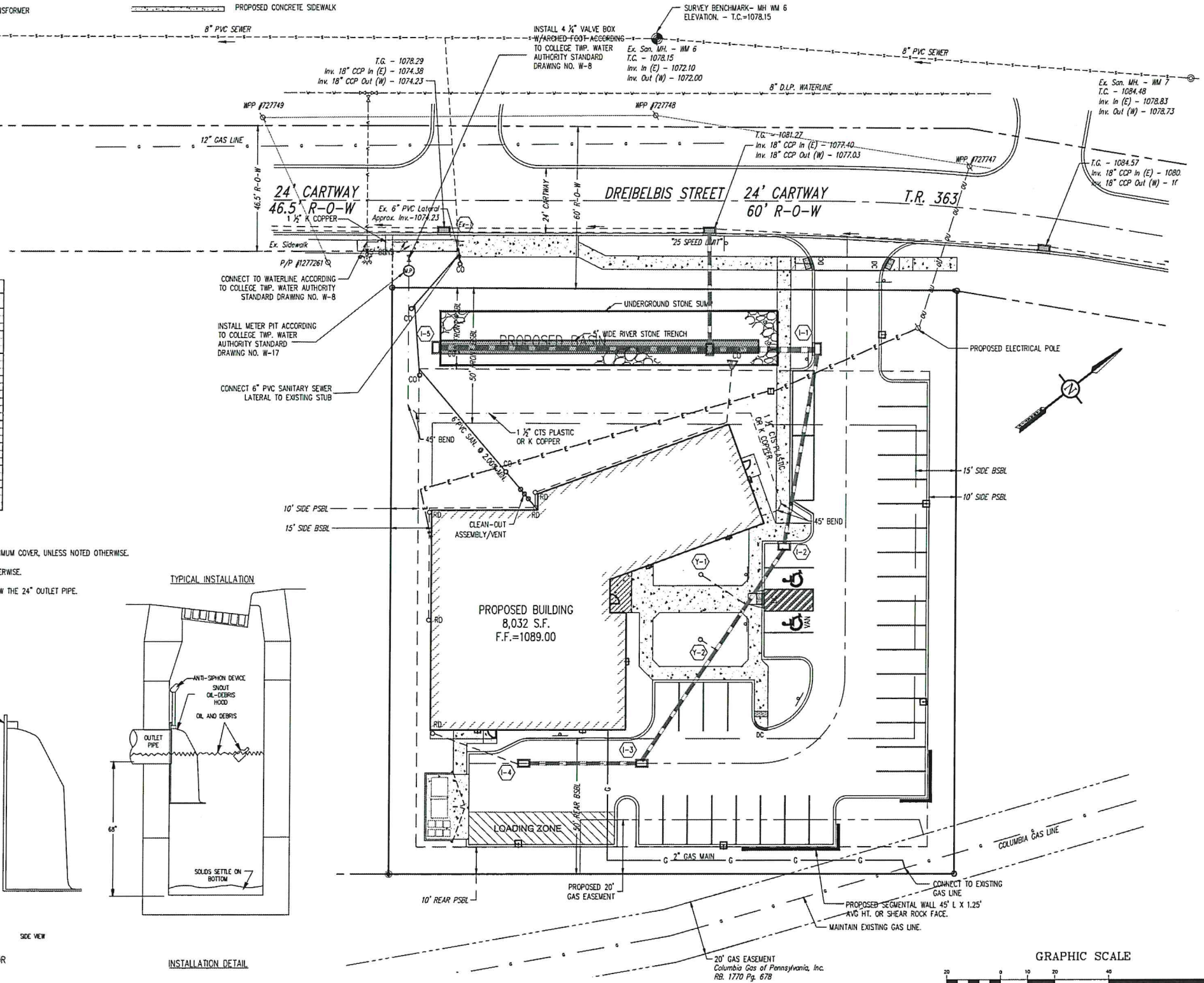
- Water main extension is subject to the College Township Water Authority (CTWA) Rules and Regulations, February 1998 Edition and the conditions set forth in the executed water main extension agreement.
- All water facilities, materials and construction methods shall be in accordance with CWTA Standard Specifications for Water Main Installation dated January 1998. In the event there is a conflict between the contract documents and CTWA specifications, the CTWA specifications shall supercede the contract documents.
- All water mains located outside of a public right of way shall be within a 20' wide utility easement.
- A minimum of 4' of cover must be maintained on all water mains unless otherwise approved by CTWA.
- A minimum of 10' horizontal separation shall be provided between water and sanitary sewer lines.
- A minimum of 4' horizontal separation shall be maintained between water and storm sewer lines.
- A minimum of 18" vertical separation shall be maintained between water and either sanitary or storm sewer lines.
- CTWA personnel must perform all water valve operation.
- Contractor must comply with all provisions of Act 187 of 1996 (Pa One Call Act) Pa One Call System 1-(800)-242-1776.
- The water lateral shall be backfilled with topsoil.

SANITARY SEWER NOTES:

- Sanitary sewer line and all sanitary sewer appurtenances shall be installed in accordance with University Area Joint Authority (UAJA) specifications, requirements and standard details.
- Contractor to maintain 18" vertical clearance between top of sanitary sewer and bottom of water line. If this distance is less then the contractor must concrete encase the crossing in accordance with UAJA Standard Drawing No. 6.

GENERAL CONTRACTOR NOTES:

- Contractor to extend all utility lines to a point 5'-0" beyond the exterior face of the foundation wall; at which point others will pick up the necessary conduits and take them to their respective source for that particular utility.



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REGISTERED PROFESSIONAL ENGINEER
JOHN C. SEPP
ENGINEER
04003-E
PENNSYLVANIA

Designer: MGH
Environmental: JCS
Proj. Manager: JCS
Surveyor: RBK
Perimeter Cl.:
Book: 458 Pg: 20-22
File: 2024-17-01-01
Layout: 06-UP

DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE UTILITY PLAN

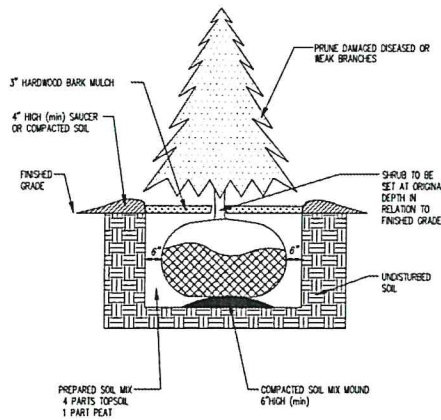
PROJECT NO.
09085
DATE
NOVEMBER 15, 2024
SCALE
1" = 20'
SHEET NO.
6

LEGEND EXISTING FEATURES

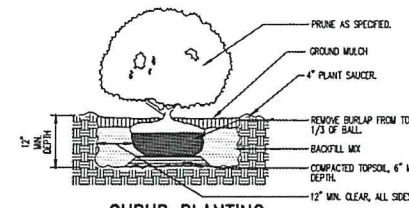
- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- Overhead Utility Line W/ Pole
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line

LEGEND PROPOSED FEATURES

- PROPOSED BUILDING
- PROPOSED CURBING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SEGMENTAL RETAINING WALL
- PROPOSED PAINTED HANDICAP PARKING SYMBOL
- PROPOSED PAINTED HANDICAP PARKING SYMBOL (VAN)
- PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA



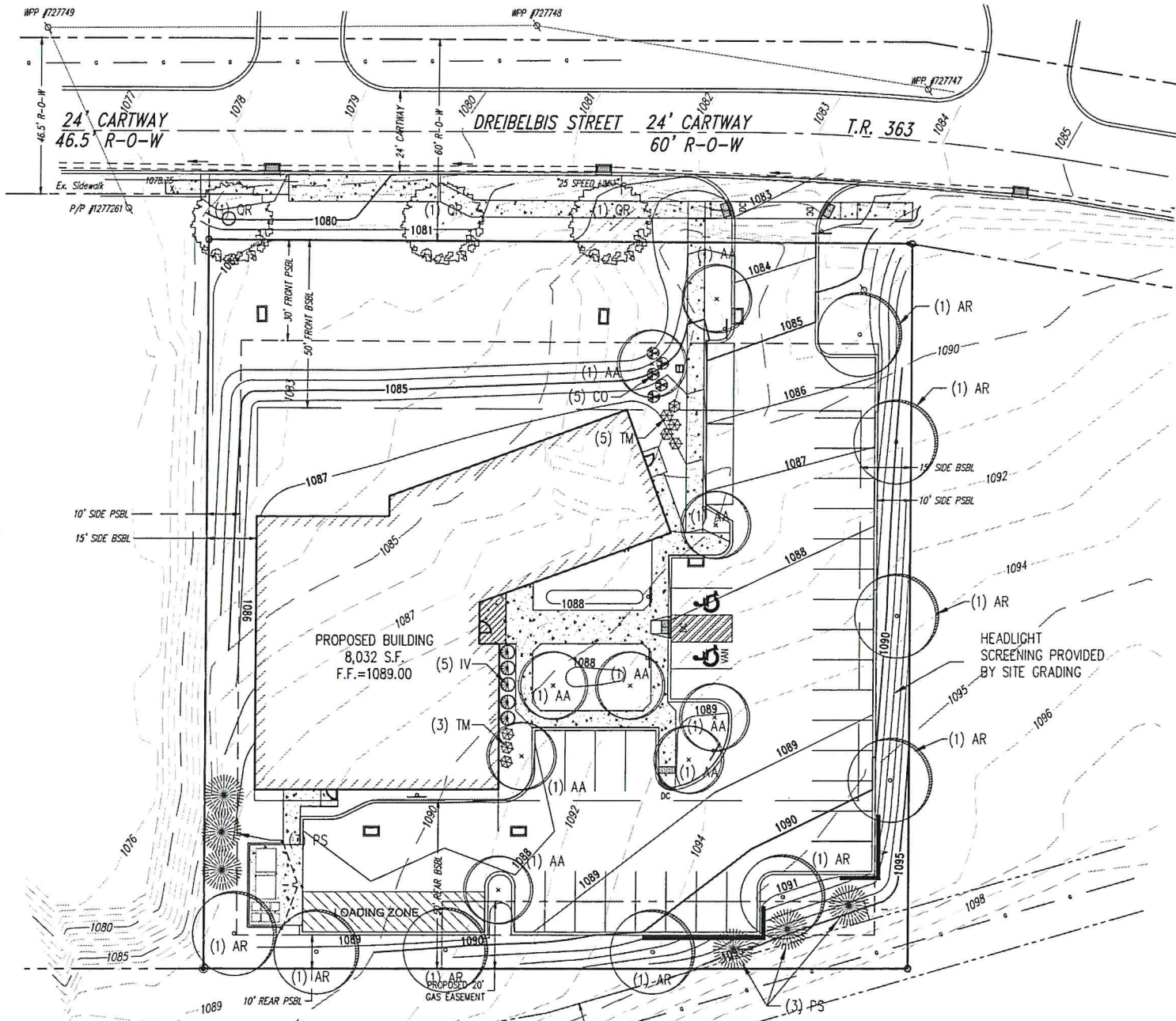
TYPICAL EVERGREEN PLANTING DETAIL
NOT TO SCALE



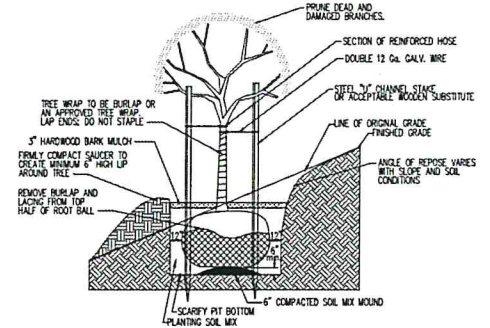
SHRUB PLANTING
NOT TO SCALE

LANDSCAPE NOTES:

1. Trees are to be mulched individually in a 4' diameter circle.
2. The mulch is to be double shredded hardwood bark mulch, well-aged and dark in color. Apply the mulch 3" to 4" thick.
3. Plant material substitutions may only be permitted at the approval of the owner and approving municipality prior to planting.
4. Any plantings which do not survive for a period of one year from the date of planting are to be replaced by the landscape contractor at no additional cost to the Owner.
5. All new plant material is to be kept watered by the landscape contractor when working on site until acceptance of the completion of the landscape or end of the season (then resume next season until project is completed). The owner will be responsible for watering thereafter.
6. All disturbed areas not being planted in trees or shrubs are to be fine graded with 6" of topsoil and stabilized according to the Erosion & Sedimentation Controls Narrative.
7. Grass must be 2 inches high over 90% of the seeded areas prior to acceptance by the owner.
8. All caliper measurements for landscaping shall be measured at 6" above the root ball.
9. Quantities of plant material noted on the planting schedule are to be verified with quantities shown on the plan which will have priority.
10. Do not place mulch within three inches of trunk flare.

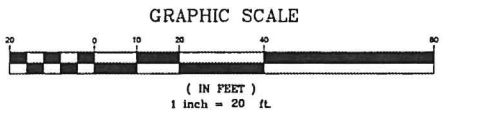


PLANTING SCHEDULE					
SYMBOL	KEY	QTY	COMMON NAME	BOTANICAL NAME	SIZE
CANOPY TREES					
	AA	9	COLUMNAR 'ARMSTRONG' RED MAPLE	ACER RUBRUM 'ARMSTRONG'	2 1/2" CAL.
	AR	9	RED MAPLE	ACER RUBRUM	2 1/2" CAL.
	QR	3	NORTERN RED OAK	QUERCUS RUBRA	2 1/2" CAL.
UNDERSTORY / EVERGREEN TREES					
	PS	6	EASTERN WHITE PINE	PINUS STROBUS	6" B&B
SHRUBS					
	CO	5	RED-STEMMED DOGWOOD	CORNUS BAILEYI	18-24" #3 CONT.
	IV	5	WINTERBERRY	ILEX VERTICILLATA (1 MALE/4 FEMALE)	15-18" #3 CONT.
	TM	8	DENSE YEW	TAXUS X MEDIA 'DENSIFORMIS'	18-24" #3 CONT.



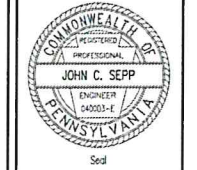
- NOTES:**
1. DO NOT DAMAGE MAIN ROOTS WHEN INSTALLING TREE STAKES.
 2. SET TREE AT SAME DEPTH AS GROWN IN THE NURSERY.
 3. WATER THOROUGHLY SUBSEQUENT TO INSTALLATION.
 4. PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS OF ROOTS.
 5. SET SUPPORT STAKES 4 IN. OR 1\"/>

TYPICAL TREE PLANTING (ON-SLOPES) DETAIL
NOT TO SCALE



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Environmental	
Proj. Manager	JCS
Surveyor	BSK
Perimeter D.	
Book	458 Pg. 20-22
File	0908-20-22-01
Layout	07-11P

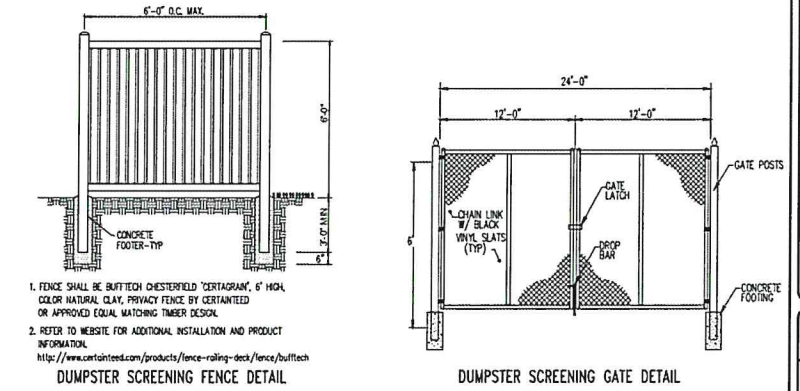
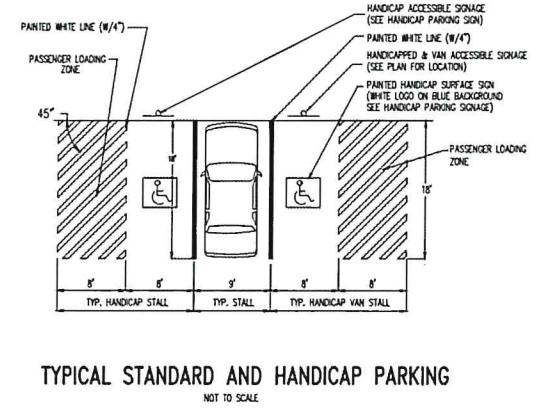
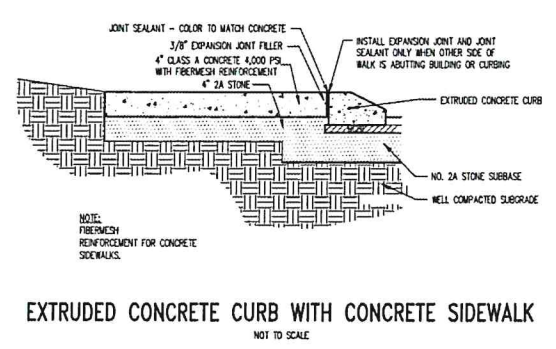
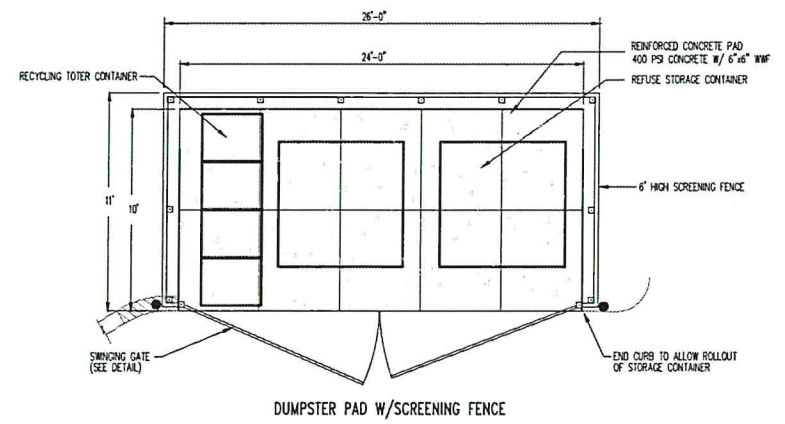
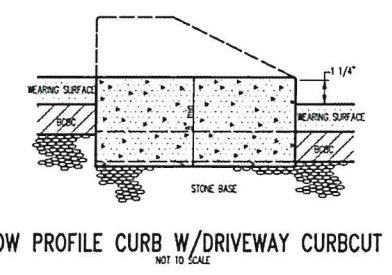
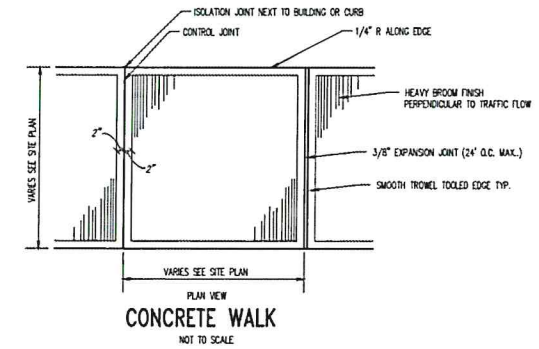
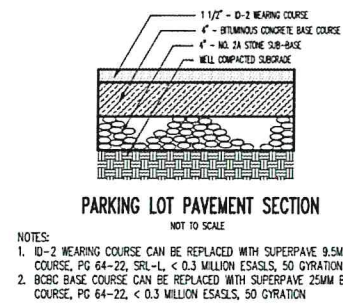
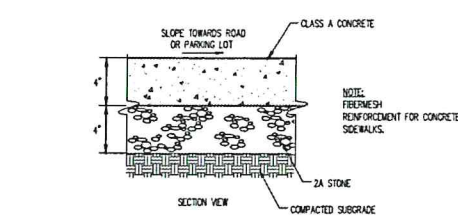
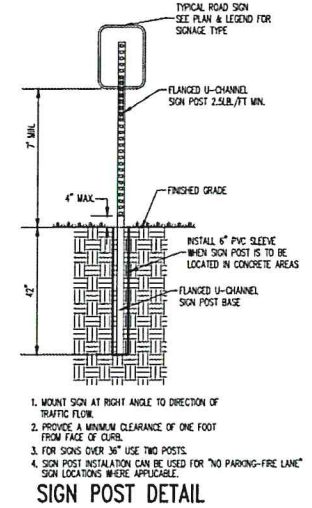
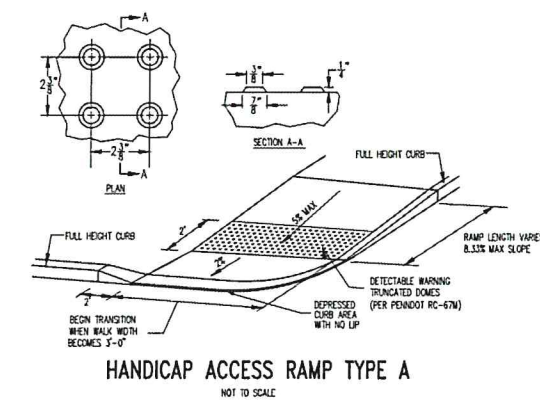
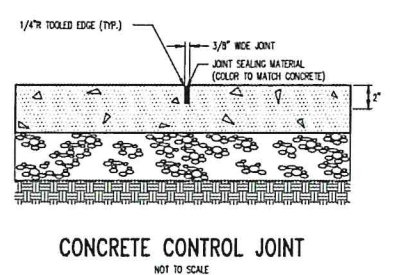
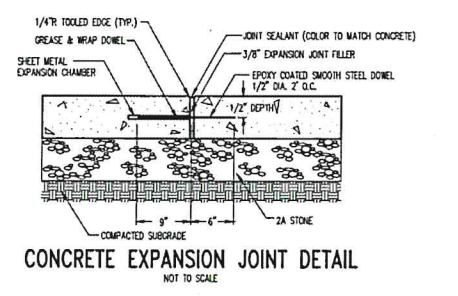
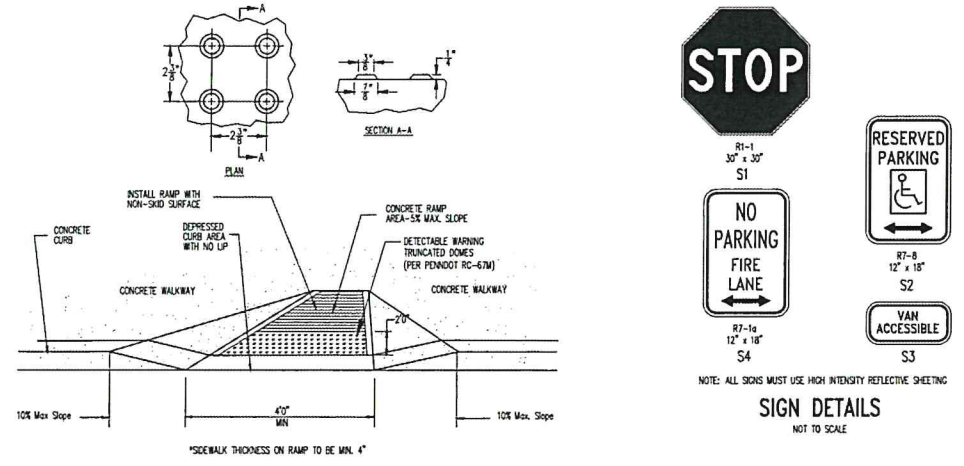
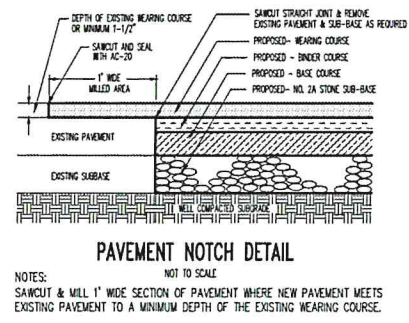
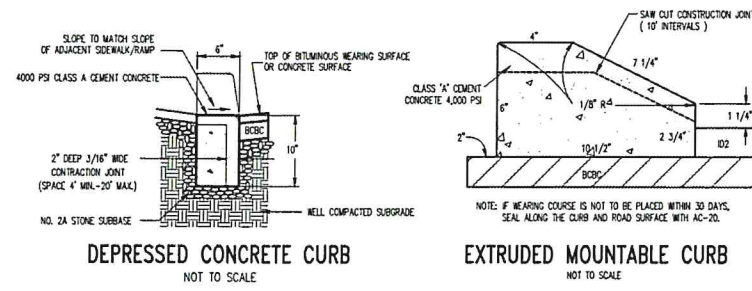
DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

SITE LANDSCAPE PLAN

PROJECT NO.	09085
DATE	NOVEMBER 15, 2024
SCALE	1"=20'
SHEET NO.	7



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REGISTERED PROFESSIONAL ENGINEER
040033-E
PENNSYLVANIA

Designer(s): MGH
Environmental: JCS
Proj. Manager: JCS
Surveyor: BRK
Perimeter Dk:
Book: 458 Pg: 20-22
File: 0009-20-18-DET
Layout: 10-DET

3-3-20 DRAFT COMMENT RESPONSE
10-9-24 TOWNSHIP COMMENTS RESPONSE
10-9-24
Date: Description: REVISIONS

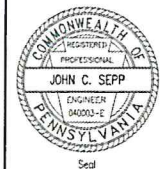
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COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

GENERAL CONSTRUCTION DETAILS

PROJECT NO.
09085
DATE
NOVEMBER 15, 2024
SCALE SHEET NO.
1"=20' 10



Designer(s) MGH
 Environmental
 Proj. Manager JCS
 Surveyor BRK
 Permitter DL
 Book 458 Pg. 20-22
 File 0908-09-10-DET
 Layout 11-UTIL DET

5-2-23 UTILITY COMPANY RESPONSE
 12-2-24 THROUGH COMMENTS RESPONSE
 Date Description
 REVISIONS

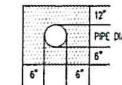
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COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

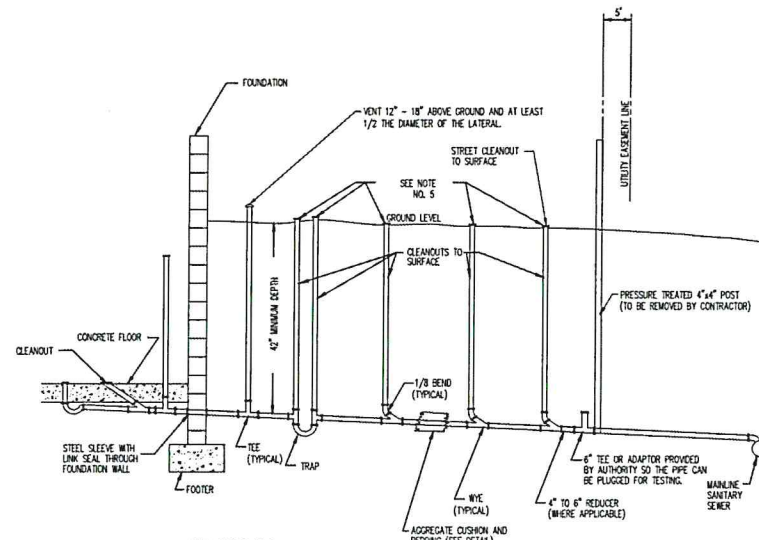
PRELIMINARY LAND
 DEVELOPMENT PLAN

UTILITY DETAILS

PROJECT NO.
09085
 DATE
NOVEMBER 15, 2024
 SCALE SHEET NO.
 1"=20' **11**

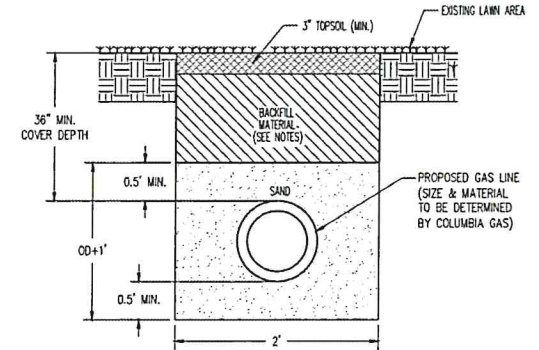


UNIVERSITY AREA JOINT AUTHORITY
AGGREGATE CUSHION AND BEDDING FOR MAINS AND LATERALS



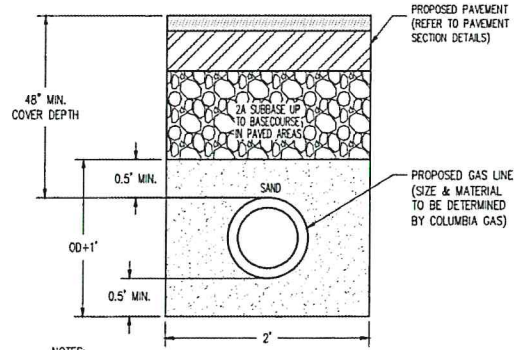
- LATERAL SPECIFICATIONS**
- 4" DIAMETER IS THE MINIMUM SIZE - LARGER SIZES WILL BE SPECIFIED BY THE AUTHORITY WHEN THE AMOUNT OF FLOW WARRANTS IT.
 - SLOPE SHALL BE 1/4" PER FOOT UNLESS APPROVED OTHERWISE BY THE AUTHORITY.
 - CLEANOUTS MUST BE INSTALLED EVERY 50' ON 4" PIPE AND EVERY 100' ON 6" PIPE.
 - LATERALS SHALL BE LAD IN AGGREGATE CUSHION AND BEDDING (SEE DETAIL).
 - CLEANOUT TERMINAL(S) SHALL HAVE TREATMENT AS RESPECTIVE LOCATION. REFER TO UJAA DWG. NO.'S 10 & 10A.
 - ALL PIPING MATERIALS INCLUDING TRAPS FOR GRAVITY APPLICATIONS SHALL BE SCHEDULE 40 PVC. ANS/ASTM D2665.
 - ALL SCHEDULE 40 PVC PIPE USED FOR PRESSURE APPLICATIONS MAY BE STAMPED ASTM D2665 BUT MUST ALSO INCLUDE A SECOND NUMBER, EITHER ASTM D1785 OR ASTM F480, WHICH ARE PRESSURE DESIGNATIONS.
- INSPECTION**
- WORK MUST BE INSPECTED AND TESTED BEFORE BACKFILLING.
 - THERE IS NO CHARGE FOR ONE-TIME INSPECTION UNLESS THE LATERAL IS LONGER THAN 150' AND/OR IF THE PIPE IS MORE THAN 4" IN DIAMETER.
 - INSPECTIONS REQUIRING MORE THAN ONE VISIT TO THE SITE WILL BE BILLED AT THE RATE IN EFFECT AT THE TIME OF INSPECTION.

UNIVERSITY AREA JOINT AUTHORITY
SANITARY SEWER LATERAL CONNECTION
 NOT TO SCALE



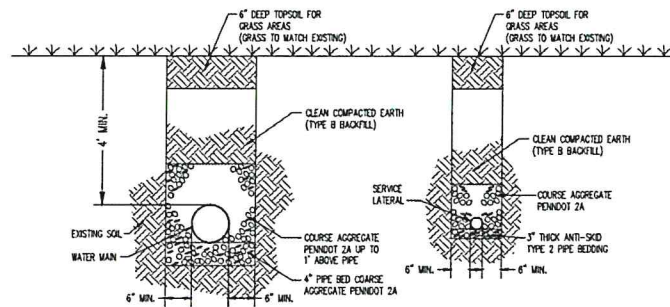
- NOTES:**
- NATIVE OR SUITABLE BACKFILL MATERIAL MAY BE UTILIZED ABOVE SAND TO THE BOTTOM OF THE TOPSOIL.
 - COMPACT BACKFILL MATERIAL IN 8" LIFTS TO 100% STANDARD PROCTOR DENSITY.
 - GAS LINE SHALL BE LOCATED A MINIMUM HORIZONTAL SEPARATION OF 8' FROM PARALLEL ELECTRIC, TELECOM AND CABLE CONDUITS.

GAS LINE INSTALLATION UNDER NON-PAVEMENT AREAS DETAIL
 NOT TO SCALE

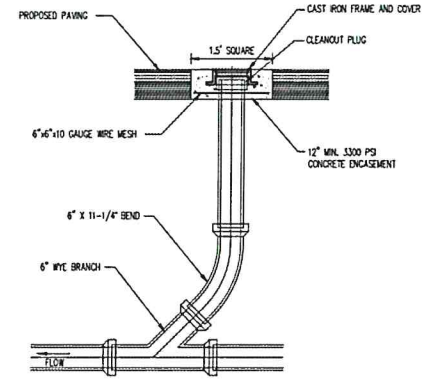


- NOTES:**
- COMPACT BACKFILL MATERIAL IN 8" LIFTS TO 100% STANDARD PROCTOR DENSITY.
 - GAS LINE SHALL BE LOCATED A MINIMUM HORIZONTAL SEPARATION OF 8' FROM PARALLEL ELECTRIC, TELECOM AND CABLE CONDUITS.

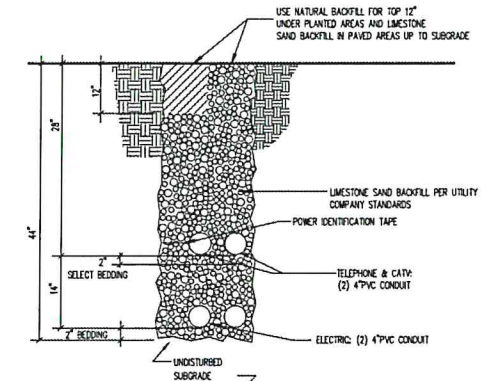
GAS LINE INSTALLATION UNDER PAVEMENT AREAS DETAIL
 NOT TO SCALE



COLLEGE TOWNSHIP WATER AUTHORITY
TYPICAL EXCAVATION, BACKFILL & SURFACE RESTORATION DETAIL FOR GRASS AREAS
 NOT TO SCALE



6" SANITARY SEWER CLEAN-OUT DETAIL IN PAVED AREAS
 NOT TO SCALE



- NOTES:**
- LIMESTONE SAND BACKFILL PER UTILITY COMPANY STANDARDS.
 - REFER TO UTILITY COMPANY DESIGN PLANS FOR LOCATIONS AND SIZES OF PVC CONDUITS.
 - INSTALL CONDUIT FOR POWER, TELEPHONE, & CATV AS SHOWN ON UTILITY PROVIDER PLANS.

ELEC., TELE. & CATV TRENCH DETAIL
 NOT TO SCALE

LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- I.P. Found
- Existing Building
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing 8" Sanitary Sewer w/ Manhole
- Existing 8" Water Line
- Existing Water Service Lateral
- Existing Sanitary Sewer Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line

LEGEND PROPOSED FEATURES

- PROPOSED BUILDING
- I.P. TO BE SET
- PROPOSED CURBING
- 1156 PROPOSED CONTOURS W/ ELEVATION
- PROPOSED STORM SEWER W/ INLET
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SEGMENTAL RETAINING WALL
- PROPOSED STORM SEWER INLET
- PROPOSED CLEAN-OUT
- PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA
- PROPOSED FLOW/GRADING ARROW

LEGEND EROSION & SEDIMENTATION CONTROLS

- LIMITS OF DISTURBANCE/NPDES BOUNDARY

PROJECT NOTES:

Owner/Applicant Information:

Christine Wekart
2505 Green Tech Drive
State College, PA 16801
Phone: 814-231-0451

The site receiving stream is an UNT Spring Creek which has a designation classification of Cold Water Fishery (CWF).

SOILS/GEOLOGIC FORMATIONS

Soil Cover on the site consists of:

HdB - Hagerstown Silty Clay Loam, 3 to 8 percent slopes

Geologic/Soil Type Use Limitations and Resolutions:

The site is located within karst limestone geology, which is susceptible to sinkhole development. If a sinkhole forms, a geotechnical engineer shall immediately be consulted to determine the appropriate course of repair. Typical repair details are shown on the detail sheet. BMPs such as silt sock should be installed around the perimeter of the sinkhole to prevent runoff discharging into it.

Soil type use limitations within the project area include the clayey layer in the subsoil, rock outcrops, sinkhole formation, groundwater pollution if the site is used for waste disposal, surface slickensides, slope, high water table, and site permeability. The clayey layers and rock outcrops are not anticipated to pose any construction limitations. If a sinkhole forms, a geotechnical engineer shall immediately be consulted to determine the appropriate course of repair. Typical repair details are shown on the detail sheet. BMPs such as silt sock should be installed around the perimeter of the sinkhole to prevent runoff discharging into it. No waste will be disposed of on-site. Pumped water filter bags are to be used to dewater the work area. None of the other limitations are anticipated to impact construction of the site.

STORMWATER MANAGEMENT FACILITIES OWNERSHIP AND MAINTENANCE PROGRAM

All stormwater management facilities on the site of Drebelbis not contained in a College Township Right-of-Way shall be owned and maintained by the developer. College Township, its agents and assigns shall have the unimpeded right to access the property for inspection and maintenance of the stormwater facilities. This note applies to the entire property shown on these plans and shall be in effect for perpetuity.

College Township and/or the Centre County Conservation District may require the Owner to maintain a record of all inspections, repairs, and maintenance activities associated with the proposed Stormwater management and permanent erosion and sedimentation control facilities at this project site. The Owner shall immediately notify the College Township and Centre County Conservation District prior to initiating any major repair activities.

The Owner hereby acknowledges College Township's right to periodically access the project site to inspect the permanent stormwater management facilities that are part of this project. The Owner acknowledges College Township's right to access the project site with notice to repair and/or maintain the permanent stormwater management facilities in accordance with this Maintenance Program. Any maintenance and/or repair activities conducted by College Township shall be at the expense of the Owner.

The facilities that will require maintenance are the inlets, storm sewer pipes, rip-rap aprons, infiltration sumps and detention basin. All stormwater facilities should be inspected monthly or after any rainfall producing runoff and maintained as follows:

- The proposed storm sewer pipe inlets and outlets shall be cleaned of all debris, filter, and other deleterious material.
- The rip-rap aprons at the outlets of the pipes need to be inspected to ensure proper erosion protection. If erosion occurs, additional rip-rap should be added.
- The detention basin shall be cleaned of debris, vegetation maintained to a height of six inches, and if any erosion is present the area is to be backfilled with topsoil and seeded with a permanent mixture. The outlet structure and stone trench shall be kept clean of brush and debris.
- The detention basin sump and perforated pipe may also need cleaned of debris, filter and other deleterious material. If the sump becomes clogged or begins to malfunction, the College Township Engineer has the right to require the sump be restored/repared to proper functioning as originally designed and approved.

STANDARD POST CONSTRUCTION STORMWATER MANAGEMENT NOTES:

PCSM Requirements

A licensed professional or a designer shall be present onsite and be responsible during critical stages of implementation of the approved PCSM Plan. The critical stages may include the installation of underground treatment or storage BMPs, structurally engineered BMPs, or other BMPs as deemed appropriate by the Department or the conservation district.

The PCSM Plan, inspection reports, and monitoring records shall be available for review and inspection by the Department or the conservation district. A licensed professional or designer shall be present during construction of the basin.

PCSM Long Term Operations and Maintenance Requirements

The permittee or co-permittee shall be responsible for long-term operation and maintenance of PCSM BMPs unless a different person is identified in the notice of termination and has agreed to long-term operation and maintenance of PCSM BMPs.

A permittee or co-permittee shall take to transfer long-term operation and maintenance of the PCSM BMP or otherwise fails to comply with this requirement shall remain jointly and severally responsible with the landowner for long-term operation and maintenance of the PCSM BMPs located on the property.

Permit Termination

Upon permanent stabilization of the earth disturbance activity and installation of BMPs in accordance with an approved plan, the permittee or co-permittee shall submit a notice of termination to the Department or conservation district.

The notice of termination must include:

- (1) The facility name, address and location
- (2) The operator name and address
- (3) The NPDES permit number
- (4) The reason for permit termination
- (5) Identification of the persons who have agreed to and will be responsible for long-term operation and maintenance of the PCSM
- (6) Copy of Legal Instrument: For any property containing a PCSM BMP, the permittee or co-permittee shall record an instrument with the recorder of deeds which will assure disclosure of the PCSM BMP and the related obligations in the ordinary course of a title search of the subject property. The recorded instrument must identify the PCSM BMP, provide for necessary access related to long-term operation and maintenance for PCSM BMPs and provide notice that the responsibility for long-term operation and maintenance of the PCSM BMP is a covenant that runs with the land that is binding upon and enforceable by subsequent grantees, and provide proof of filing with the notice of termination.
- (7) Final certification: The permittee shall include with the notice of termination Record Drawings with a final certification statement from a licensed professional, which reads as follows:
I (name) do hereby certify pursuant to the penalties of 18 Pa. C.S.A. §4904 to the best of my knowledge, information and belief, that the accompanying record drawings accurately reflect the on-site conditions, are true and correct, and are in conformance with Chapter 102 of the rules and regulations of the Department of Environmental Protection and that the project site was constructed in accordance with the approved PCSM Plan, all approved plan changes and accepted construction practices.
- (8) The permittee shall retain a copy of the record drawings as a part of the approved PCSM Plan.
- (9) The permittee shall provide a copy of the record drawings as part of the approved PCSM Plan to the person identified in this section as being responsible for the long-term operation and maintenance of the PCSM BMPs.

RECYCLING AND DISPOSAL OF MATERIALS:

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 281.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes.

Wastes generated from this project shall be recycled if all possible. Any materials that cannot be recycled or reused shall be disposed of at a Pennsylvania Department of Environmental Protection approved landfill. If soil and/or rock disposal areas are required, erosion and sedimentation controls shall be implemented at these areas. Any excess soil waste may only be disposed of at an approved EAS/NPDES permitted site.

SEQUENCE OF STORMWATER BMP INSTALLATION

1.) A licensed professional or designer shall be present during construction of the basin. Coordination with the licensed professional should occur prior to initiating site construction. The proposed basin shall be initially constructed as a sediment facility and converted to a permanent stormwater facility, once site stabilization is achieved. The underground sump portion of the basin will be installed once site stabilization is achieved and the basin is converted to a permanent stormwater control facility.

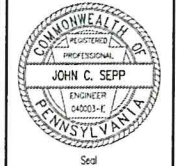
2.) Commence with construction of the proposed stormwater management basin, which shall temporarily serve as a sediment trap. Construction shall include the outlet structure, outlet pipe and anti-seep collars. The invert of the future 24 HDPEP must be covered water-tight. The 1" diameter temporary orifices shall be installed in the outlet structure. Stabilize the trap with the temporary seeding mixture. Refer to Stage D of the Erosion and Sedimentation Control Plan Construction Sequence for additional information.

3.) Once the entire site is properly stabilized, remove all sediments within the sediment trap. Convert the basin to it's final stormwater basin configuration in accordance with Stage I of the Erosion and Sedimentation Control Plan Construction Sequence.



3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
WWW.PENNTERRA.COM

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Designer(s)	MGH
Environmental	HL
Proj. Manager	JCS
Surveyor	BRK
Perimeter CL	
Book	458 Pg. 20-22
File	2024-PCSM
Layout	PCSM

3-3-25	VERIFY CURRENT RESPONSE
01-1-24	TOWNSHIP COMMENTS RESPONSE
Date	Description
	REVISIONS

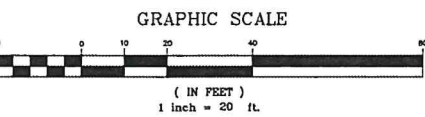
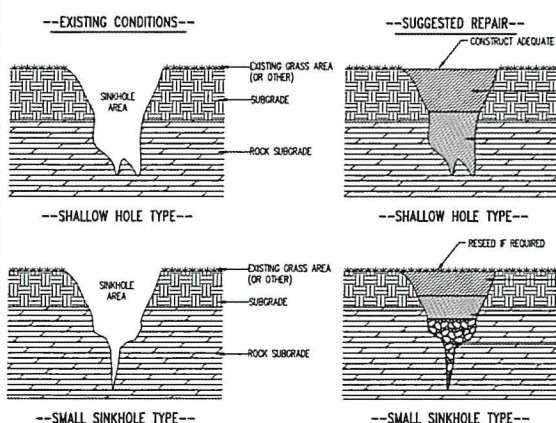
DREBELBIS ST. MEDICAL OFFICE

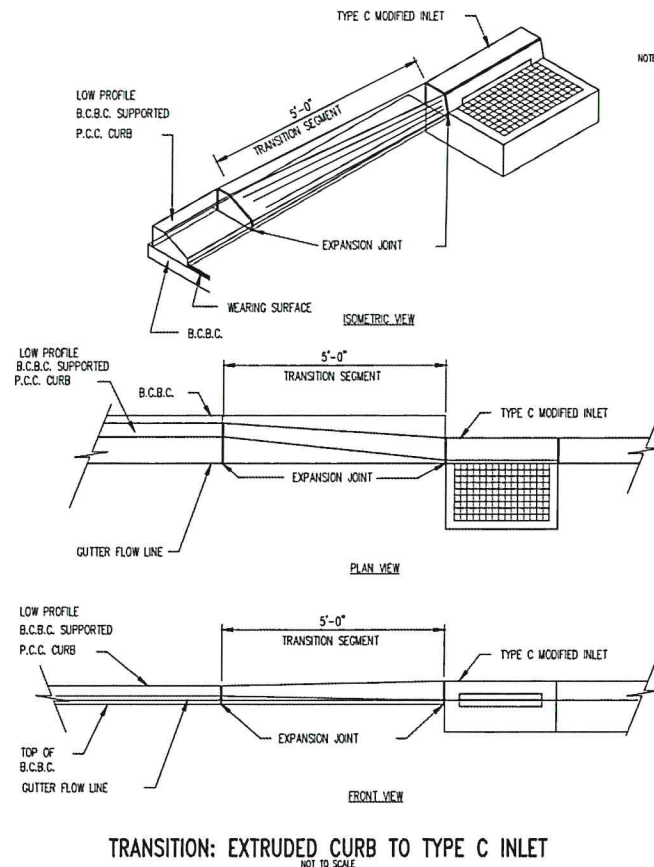
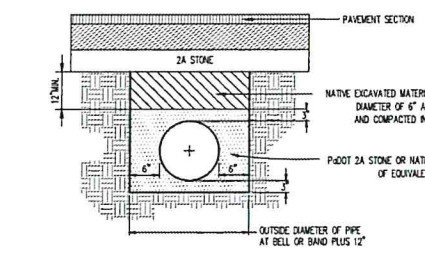
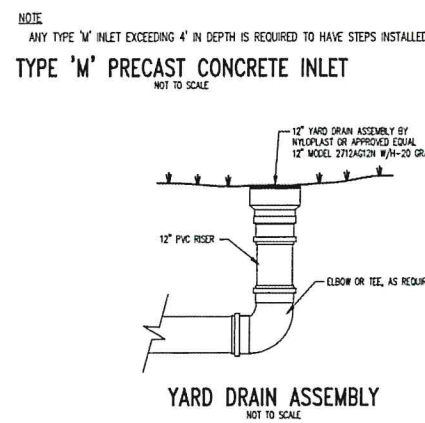
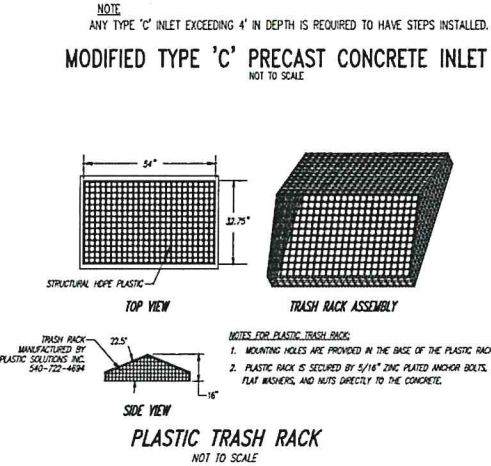
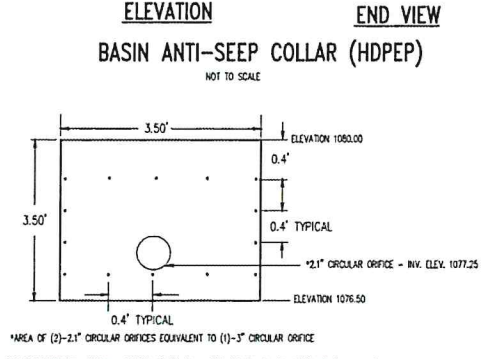
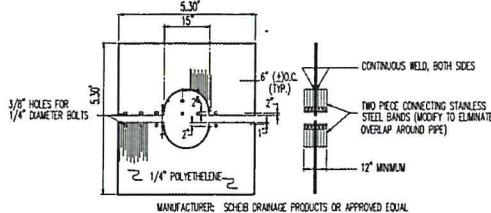
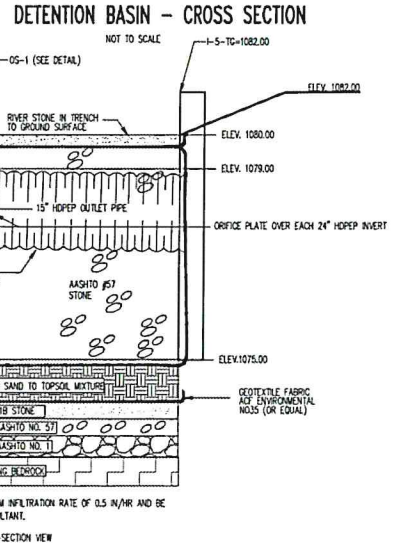
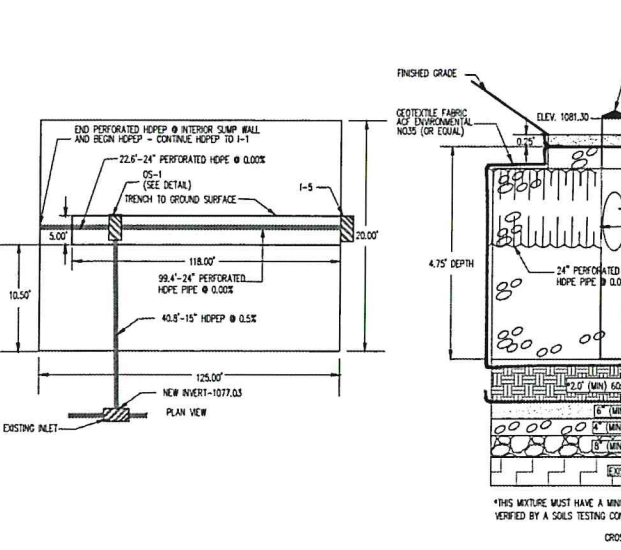
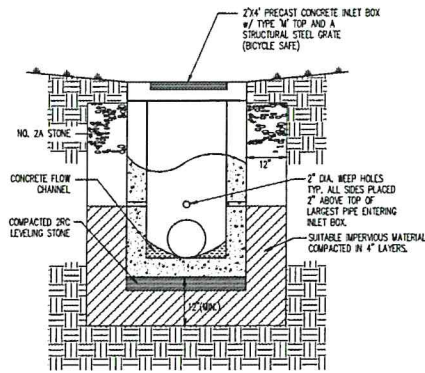
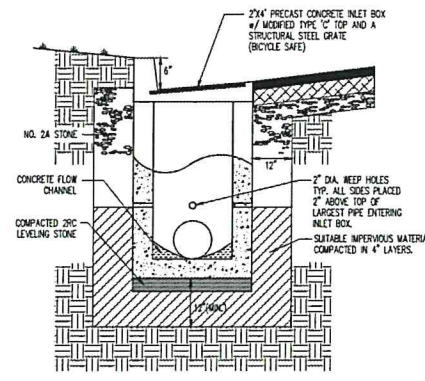
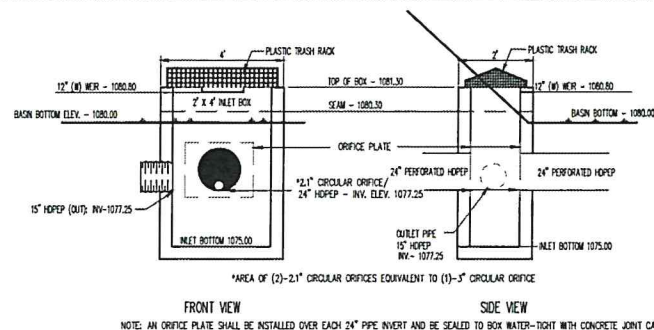
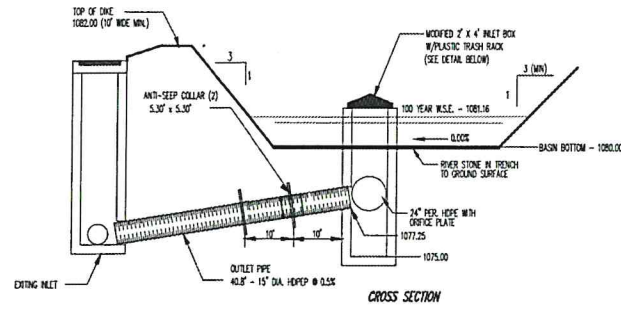
COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND
DEVELOPMENT PLAN

POST
CONSTRUCTION
STORMWATER
MANAGEMENT
PLAN

PROJECT NO.	09085
DATE	NOVEMBER 15, 2024
SCALE	1"=20'
SHEET NO.	PC1



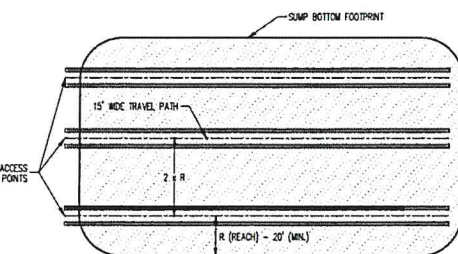


BASIN STONE SUMP
NOT TO SCALE

DETENTION BASIN NOTES:

1. THE DETENTION BASIN EMBANKMENT SHALL BE COMPACTED IN LAYERS USING A STANDARD PROCTOR OF 98% PER ASTM 698.
2. COMPACTION TEST REPORTS SHALL BE KEPT ON FILE AT THE SITE AND SUBJECT TO REVIEW AT ALL TIMES WITH COPIES BEING FORWARDED TO THE MUNICIPAL ENGINEER UPON REQUEST.
3. TEMPORARY AND PERMANENT GRASSES OR STABILIZATION MEASURES SHALL BE ESTABLISHED ON THE SIDES AND BASE OF ALL BASINS WITHIN 15 DAYS OF CONSTRUCTION.
4. IN ORDER TO AVOID COMPACTION OF THE STONE SUMP BOTTOM, SPECIAL PROCEDURES SHALL BE IMPLEMENTED FOR EQUIPMENT OPERATIONS WITHIN THE REMAINING THREE FEET OF STONE SUMP BOTTOM EXCAVATION. ONCE EXCAVATION OF THE STONE SUMP BOTTOM IS BROUGHT TO WITHIN THREE FEET OF FINAL GRADE, THE FINAL EXCAVATION SHALL BE COMPLETED UTILIZING EQUIPMENT LOCATED ON THE BASIN EMBANKMENT AND OUTSIDE THE STONE SUMP BOTTOM (IF EXCAVATION CANNOT FULLY BE COMPLETED FROM THE EMBANKMENT, REFER TO THE TYPICAL STONE SUMP BOTTOM EXCAVATION DETAIL.)
5. TOPSOIL SHALL BE SPREAD ON THE BASIN SIDES AND BOTTOM AREA, EXCEPT FOR THE STONE TRENCH AREA. THE BASIN BOTTOM SHALL BE SEEDED WITH THE PERMANENT SEEDING MIXTURE SPECIFIED IN THE EROSION AND SEDIMENTATION CONTROL PLAN. TOPSOIL MUST ALSO BE SPREAD ON THE BASIN EMBANKMENT, KEEPING EQUIPMENT OUTSIDE OF THE BASIN BOTTOM.
6. CONSTRUCTION OVERSIGHT REQUIRED BY OWNER'S GEOTECHNICAL CONSULTANT. CONSTRUCTION OF BASIN STONE SUMP SHALL NOT OCCUR WITHOUT COORDINATION OF OWNER'S GEOTECHNICAL CONSULTANT.

1/4" THICK ALUMINUM ORIFICE PLATE (OVER EACH 24" PIPE INVERT)
NOT TO SCALE



- NOTES:**
1. ALL EQUIPMENT MOBILIZATION AND MANEUVERS MUST BE LIMITED TO THE TRAVEL PATH LOCATIONS. THE CONTRACTOR SHALL LOCATE AND CLEARLY POST ALL TRAVEL PATHS IN THE FIELD.
 2. TRAVEL PATH LOCATIONS SHALL BE SELECTED BASED UPON EQUIPMENT REACH CAPABILITY AND SUMP GEOMETRY. TRAVEL PATH LOCATIONS SHOULD BE SELECTED SUCH THAT THEY PARALLEL THE LONGEST SIDE OF THE SUMP.
 3. TRAVEL PATH SPACING SHALL VARY WITH EQUIPMENT REACH CAPABILITY. REACH CAPABILITY SHOULD BE A MINIMUM OF 20 FEET.
 4. MATERIAL SHALL BE REMOVED FROM THE TRAVEL PATH LOCATIONS WORKING TOWARD THE ACCESS POINTS. ONCE MATERIAL IS REMOVED FROM EACH TRAVEL PATH LOCATION AND FINAL GRADE IS ACHIEVED, ALL EQUIPMENT SHALL BE PROHIBITED FROM THESE LOCATIONS.

STONE SUMP BOTTOM EXCAVATION
NOT TO SCALE

TRANSITION: EXTRUDED CURB TO TYPE C INLET
NOT TO SCALE

PennTerra ENGINEERING INC.
3075 ENTERPRISE DRIVE
SUITE 100
STATE COLLEGE, PA 16801
PH: 814-231-8285
www.PEN TERRA.com

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JOHN C. SEPP
ENGINEER
04033-E
PENNSYLVANIA
Seal

Design(s): MGH
Environmental:
Proj. Manager: JCS
Surveyor: BRK
Perimeter: DL
Book: 458 Pg: 20-22
File: 0808-PC2
Layout: STORM DETAILS

DREIBELBIS ST. MEDICAL OFFICE

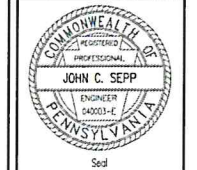
COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

POST CONSTRUCTION STORMWATER DETAILS

PROJECT NO.
09085
DATE
NOVEMBER 15, 2024
SCALE: 1"=20'
SHEET NO.
PC2

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Designer(s) _____ MGH
 Environmental _____
 Proj. Manager _____ JCS
 Surveyor _____ BRK
 Permitting Cl. _____
 Book 458 Pg. 20-22
 File 2024-12-13-ENS-PLAN
 Layout 12-ENS-PLAN

DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
 CENTRE COUNTY
 PENNSYLVANIA

PRELIMINARY LAND
 DEVELOPMENT PLAN

EROSION &
 SEDIMENTATION
 CONTROL PLAN

PROJECT NO.
 09085
 DATE
 NOVEMBER 15, 2024
 SCALE SHEET NO.
 1"=20' **ES1**

LEGEND EROSION & SEDIMENTATION CONTROLS

- LIMITS OF DISTURBANCE/NPDES BOUNDARY
- CONSTRUCTION ENTRANCE
- INLET PROTECTION TYPE 'W'
- INLET PROTECTION TYPE 'C'
- INLET PROTECTION TYPE 'C' FILTER BAG
- INLET PROTECTION YARD DRAIN
- 30" SILT FENCE
- 18" SILT FENCE
- STONE DIVERSION SWALE
- RIP-RAP APRON

LEGEND EXISTING FEATURES

- Property Line, Lot Line or Right of Way Line
- Adjoining Property Line
- Building Setback Line
- Roadway Center Line
- I.P. Found
- Existing Building
- Existing Building
- Existing Curbing
- Existing Contours (1's & 2's)
- Existing Contours (5's & 10's)
- Existing 8" Sanitary Sewer w/ Manhole
- Existing 8" Water Line
- Existing Water Service Lateral
- Existing Sanitary Sewer Lateral
- Existing Storm Sewer Line w/ Inlet
- Existing Gas Line

LEGEND PROPOSED FEATURES

- PROPOSED BUILDING
- I.P. TO BE SET
- PROPOSED CURBING
- 1156 PROPOSED CONTOURS W/ ELEVATION
- PROPOSED STORM SEWER W/ INLET
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SEGMENTAL RETAINING WALL
- PROPOSED STORM SEWER INLET
- PROPOSED CLEAN-OUT
- PROPOSED HANDICAP RAMP
- PROPOSED DEPRESSED CURB AREA
- PROPOSED FLOW/GRADING ARROW

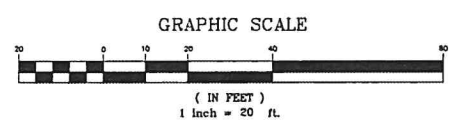
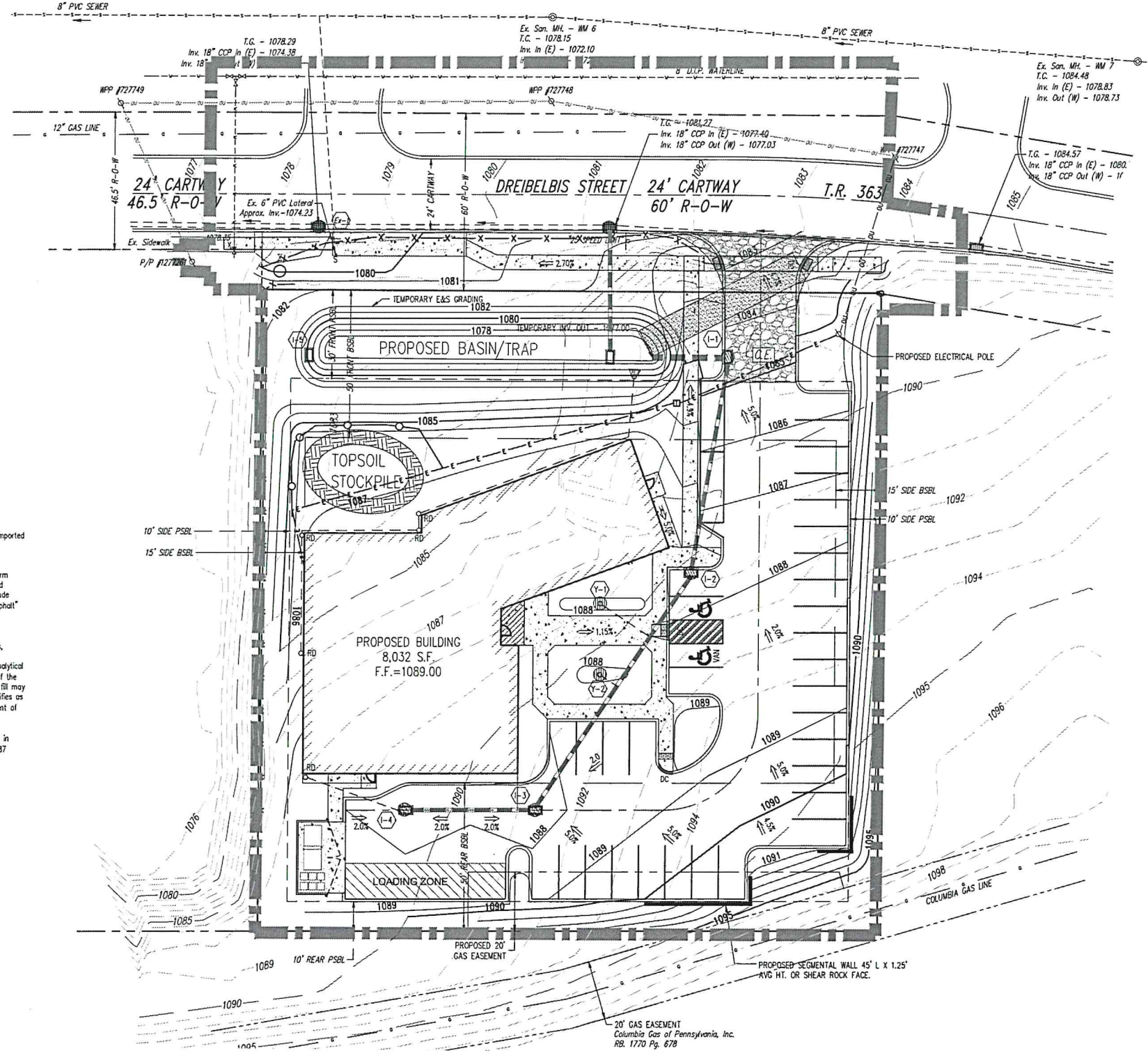
RESPONSIBILITIES FOR FILL MATERIALS

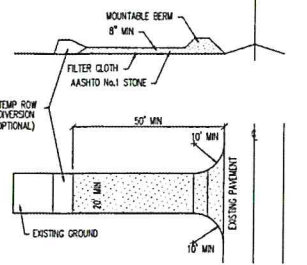
The contractor is responsible to use environmental due diligence to ensure any fill material required to be imported to or exported from the site qualifies as Clean Fill.

Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use.)

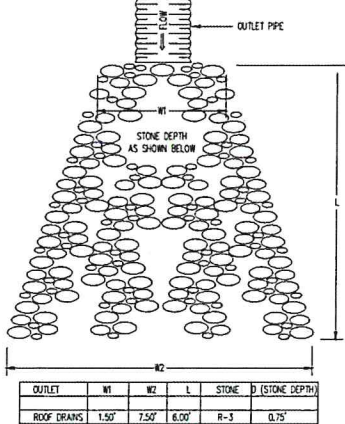
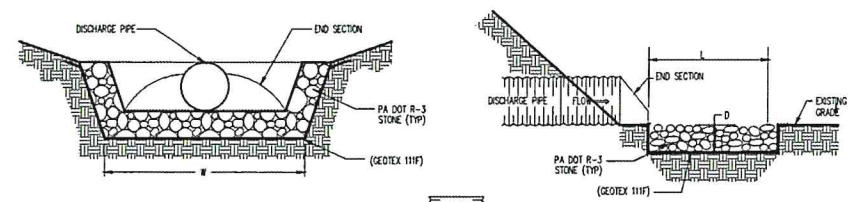
Environmental due diligence: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable.



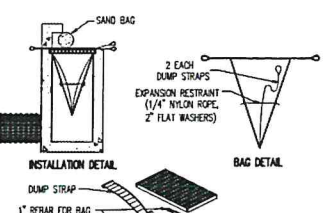
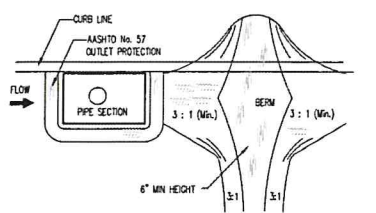


STONE DIVERSION SWALE
NOT TO SCALE



GEOTEXTILE LINED RIP-RAP APRON
NOT TO SCALE

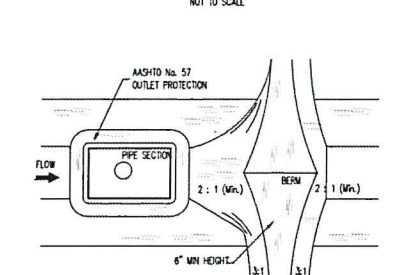
CONSTRUCTION ENTRANCE
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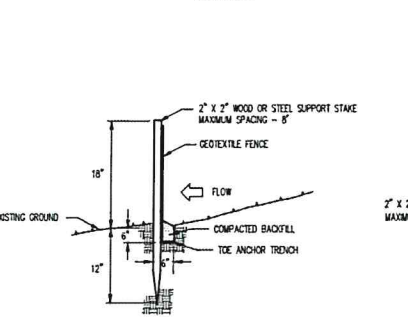
INLET FILTER BAG (TYPE C)
NOT TO SCALE

INLET FILTER BAG NOTES:
FILTER BAG SHOULD TRAP PARTICLES LARGER THAN 150 MICRONS.
WHENEVER FILTER BAGS ARE USED THEY SHOULD BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
INLET FILTER BAGS SHOULD BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT.
FILTER BAGS SHOULD BE CLEANED AND/OR REPLACED WHEN BAG IS 1/2 FULL.
DAMAGED FILTER BAGS SHOULD BE REPLACED.
NEEDED REPAIRS SHOULD BE INITIATED IMMEDIATELY AFTER THE INSPECTION.

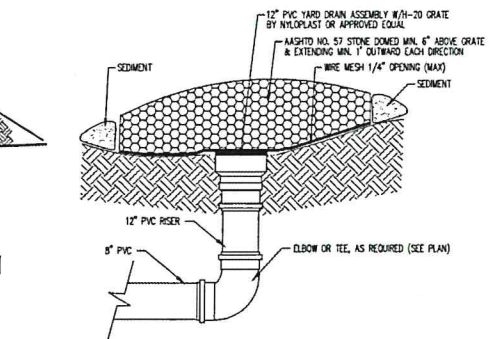
DROP INLET FILTER W/ EARTHEN BERM (TYPE C)
NOT TO SCALE



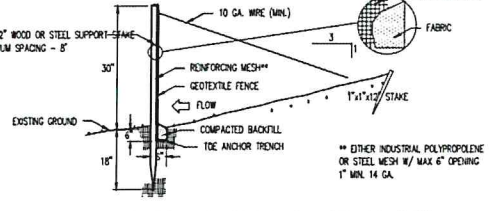
DROP INLET FILTER W/ EARTHEN BERM (TYPE M)
NOT TO SCALE



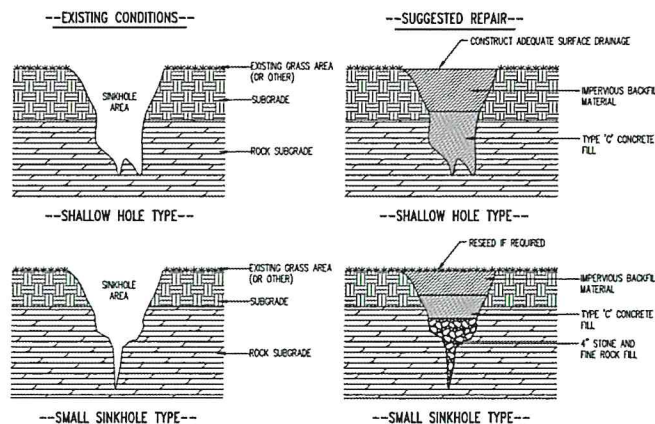
GEOTEXTILE SILTATION FENCE 18" PHASE TWO ONLY
NOT TO SCALE



YARD DRAIN INLET PROTECTION

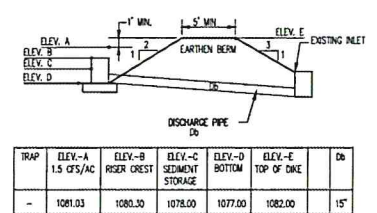


GEOTEXTILE SILTATION FENCE 30"
NOT TO SCALE



SINKHOLE REPAIR (NOT INCLUDED IN UTILITY/EARTHWORK BASE BID)

THESE DETAILS REPRESENT TYPICAL SINKHOLE SHAPES AND REPAIR TECHNIQUES. SINKHOLES VARY IN SIZE AND TYPE. THEREFORE, THE OWNER'S GEOTECHNICAL ENGINEER SHALL BE CONTACTED PRIOR TO FIELD REPAIR OF ANY SINKHOLE.



SEDIMENT TRAP 2' X 4' OS-1 BOX
NOT TO SCALE

Staging of Earthmoving Activities

- Notes:**
- All permanent and temporary seeding shall be done within 72 hours of the completion of disturbances for all areas requiring vegetative cover.
 - A licensed professional or designer shall be present during construction of the basin. Coordination with the licensed professional should occur prior to initiating site construction. The Sediment Trap/Retention Basin shall be initially constructed to the configuration/control elevations shown on the Erosion and Sedimentation Control Plan. The stone sump portion of the basin shall not be installed until the site has reached permanent stabilization and the trap is then converted to the permanent stormwater basin.
 - In order to avoid compaction of the proposed basin stone sump bottom, special procedures shall be implemented for equipment operations within the first three feet of stone sump bottom excavation and stone placement.
 - Once excavation of the stone sump bottom is brought to within three feet of final grade, the final excavation shall be completed utilizing equipment located outside the stone sump bottom (if excavation cannot fully be completed from outside the bottom, refer to the typical stone sump bottom excavation detail.)
 - Stone must be placed in the stone sumps in a manner that avoids compaction of the soil bottom. Stone should be placed in its entire depth beginning at one end of the stone sump and proceeding to the next. Equipment must be kept off the soil bottom and instead only be allowed to operate on the stone that has been placed to its entire depth.
 - Once the stone sump is installed, the contractor must ensure that the stone and storm piping remain free of sediments. Inlet protection must remain in place and maintained in accordance with the proper maintenance procedures until the site is fully stabilized.
 - Failure to correctly install sediment control facilities or failure to prevent sediment laden runoff from leaving the construction site or failure to take corrective actions to immediately resolve failures of sediment control facilities may result in administrative, civil and/or criminal penalties being instituted by the Pennsylvania Department of Environmental Protection as defined in Section 602 of the Clean Streams Law of Pennsylvania. The Clean Streams Law provides for up to \$10,000 per day in civil penalties, up to \$10,000 in summary criminal penalties, and up to \$25,000 in misdemeanor criminal penalties for each violation.
- Construction Sequence:** All earth disturbance activities shall proceed in accordance with the following staging of earthmoving activities. Each stage shall be completed before a subsequent stage is initiated.
- Install the site construction entrance and all site silt fence, as shown on the Erosion and Sedimentation Control Plan (E&SCP).
 - Demolish and remove all existing buildings. All material shall be recycled and/or disposed of in accordance with the 'Recycling and Disposal of Materials' of this report.
 - Begin clearing and grubbing of the site. Topsoil shall be stockpiled in the location shown on the E&SCP. Stabilize the topsoil stockpile immediately with the Temporary Seeding Mixture. Install the portion of the sanitary sewer lateral from the existing connection to a point just above the basin outlet pipe.
 - Construct the Sediment Trap/Retention Basin in accordance with Note 2 above. Construction shall include the outlet structure, outlet pipe and anti-seep collar. The stormwater orifice plate inside the outlet structure shall not be installed at this time. The 24" HDPE pipe invert of the outlet structure shall be covered and sealed water tight. Drill the 1" diameter orifices in the outlet structure, where shown on the Sediment Trap Detail. Stabilize the trap immediately with the Temporary Seeding Mixture.
 - Begin the entire site rough grading.
 - Once final grade of the proposed building is reached, commence the proposed building construction.
 - Continue with all site grading, install all site utilities. A portion of the proposed 24" HDPE pipe within the basin stone sump shall be installed from inlet 1-1 and temporarily 'skirted' into the trap, as shown on the E&SCP-1. Install inlet protection on all new inlets and yard drains. The rip-rap apron (outlet protection) of the sediment trap to the detention basin. Any erosion controls disturbed from utility installations shall be immediately repaired, once any utilities are installed through their location.
 - Once all parking and driveway areas are brought to sub-grade elevations and stabilized with stone, begin the paving operations, thus removing the construction entrances and stone diversion swale. Curbing can also be constructed at this time. Bring all other areas to final grade. As building construction comes to a completion, all yard areas should be stabilized with topsoil and the permanent seeding mixture.
 - Once all areas become stabilized to a uniform 70% vegetative cover or other, the sediment trap shall be converted to its permanent stormwater basin configuration. The stone sump portion of the basin shall be installed in accordance with Note 3 above. The 24" HDPE pipe in the sump shall be extended to the outlet structure, thus removing the cover over the 24" HDPE pipe invert and install the permanent stormwater orifice plate. The 1" orifices of the outlet structure shall be played, install the rip-rap apron for the roof drain, finalize all grading in the basin and stabilize all disturbed areas with topsoil and the Permanent Seeding Mixture. All silt fence, inlet protection and topsoil stockpile may also be removed. Stabilize all disturbed areas with the permanent seeding mixture.

Temporary Control Measures

Temporary control measures will be implemented to ensure that erosion is minimized and that sediment is retained during construction. The construction entrance is to be installed to prevent tracking of soil from the site. Geotextile fence will be placed at the locations shown on the Erosion and Sedimentation Control Plan and provided filtration of site runoff. Topsoil stockpiles will be provided for the proper storage and stabilization of the site's topsoil. The sediment trap will provide proper filtration of site runoff. A stone diversion swale will ensure dirty runoff is directed to the sediment trap. Inlet protection will prevent re-suspension of the stormwater system. Sediment buildup at any of the control locations will be removed as indicated in the Maintenance Program section of this report.

If a disturbed area is to be abandoned or work has stopped, it will be seeded with a temporary seeding mixture that shall consist of the following:

Item	Rate
1. Agricultural grade limestone	1 ton/acre
2. Fertilizer 10-10-10	50 lbs./acre
3. Annual ryegrass	40 lbs./acre
4. Mulch (straw)	3 tons/acre

Permanent Control Measures

Permanent control measures include detention basin, curbs, storm sewer and seeding / landscaping. Permanent seeding on all disturbed areas may consist of the following:

Item	Rate
1. Agricultural grade limestone	4 tons/acre
2. Fertilizer 10-20-10	150 lbs./acre
3. 50% Kentucky Bluegrass 50% Creeping Red Fescue 20% Perennial Rye	102 lbs./acre
4. Mulch	3 tons / acre

For lawn areas, a suitable lawn mixture, such as Agways Royal Green, shall be substituted for item 3 of the permanent seeding mixture and applied at the rate directed by the manufacturer.

Maintenance Program

During construction, the contractor will be responsible for maintenance and repair of all erosion and sedimentation control facilities. These facilities should be inspected weekly and after every runoff event. Any erosion control disturbed during construction or found to be inadequate upon inspection shall be repaired or replaced within 24 hours after the disturbance or the discrepancy is discovered. All inspections and repairs shall be documented within a written report and retained for record keeping. The maintenance of the erosion control facilities will include the following:

Geotextile Fence Maintenance:

- The fence installation should be inspected after every runoff event. Loosened support stakes shall be removed, new stakes driven and the fence reattached.
- Accumulated sediments shall be removed as required and in all cases where uniform accumulations reach one-half the height of the silt fence or higher.
- All undersizing or erosion of the line anchor shall be repaired immediately with compacted backfill materials.
- Adhere to manufacturer's recommendations for replacing filter fabric fence due to aging.

Construction Entrance

- The entrance shall be maintained in a condition that will prevent tracking or blowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanup of any measure used to trap sediment. All sediment spilled, dropped, wasted or tracked onto public rights-of-way must be removed immediately and returned to the site.
- The structure should be checked regularly to ensure its soundness. If the stone filter has been disturbed and cannot perform its proper protective function, additional stone should be installed to provide adequate filtration.

Topsoil Stockpiles:

- The topsoil stockpiles shall be seeded with the temporary seeding mixture to ensure proper stabilization. Any additional topsoil spread at these locations shall also be seeded with the temporary seeding mixture.

Permanent Seeding:

- If the vegetative cover is not established uniformly by the third mowing, the contractor shall reseed topsoil, if necessary, and seed and mulch as needed to provide adequate cover.

Inlet Protection:

- Sediment shall be removed from the structure and spread over an existing stockpile with controls already in place, or spread over an existing windrow and seeded with the temporary seeding mixture.
- The structure should be checked regularly to ensure its soundness. If the stone filter has been disturbed and cannot perform its proper protective function, additional stone should be installed to provide adequate filtration.
- A 6" high height asphalt berm shall be maintained until roadway surface receives final coat.

Sediment Trap:

- The sediment trap shall be stabilized with the temporary seeding mixture and maintained to ensure that it is structurally sound at all times. Sediment accumulation within the sediment trap shall be removed when it reaches the clear-out storage elevation as indicated on the E&SCP.

Recycling and Disposal of Materials

The operator shall remove from the site, recycle, or dispose of all building materials and wastes in accordance with the Department's Solid Waste Management Regulations of 25 PA. Code 262.1et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not dump, burn, dump, or discharge any building material or waste. Water generated during the construction of this project shall be recycled if at all possible. Any materials that cannot be recycled or reused shall be disposed of at a Pennsylvania Department of Environmental Protection approved landfill. If soil and/or rock disposal areas are required, erosion and sedimentation controls shall be implemented at these areas. Any excess soil waste may only be disposed of at an approved E&S/PCS permitted site.

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Design(s): MGH
Environmental:
Proj. Manager: JCS
Surveyor: BRK
Perimeter Cl.:
Book: 458 Pg: 20-22
File: 0908-24-14-095-017
Layout: 13-ENS-DET

Date	Description	REVISIONS

DREIBELBIS ST. MEDICAL OFFICE

COLLEGE TOWNSHIP
CENTRE COUNTY
PENNSYLVANIA

PRELIMINARY LAND DEVELOPMENT PLAN

EROSION & SEDIMENTATION CONTROL DETAILS AND NARRATIVE

PROJECT NO:
09085
DATE:
NOVEMBER 15, 2024
SCALE: 1"=20'
SHEET NO.:
ES2



COLLEGE TOWNSHIP

MEMORANDUM

To: College Township Planning Commission

From: Lindsay K. Schoch, AICP | Principal Planner

Date: June 13, 2025 (For Discussion at June 17, 2025 PC Meeting)

Re: Staff Recommendations Resulting from the June 3 PC Meeting Discussion

Front Setbacks and Accessibility: The current draft code proposes maximum front setbacks in the Mixed Core *and* Mixed Neighborhood Multi-family and Non-Residential districts. Would this be sufficient to accommodate an ADA-compliant ramp if needed?



Staff Response: The visual to the left depicts a building, built to the setback line where the door is setback into the building to accommodate a ramp, if necessary; also, provides spaces for door swings, egress and ingress.

During the meeting, some commissioners expressed interest in greater consistency in front setbacks across districts, while others preferred maintaining flexibility and variety.

The Scholar (pictured left) in downtown State College shows a portion of a building can be built to the setback line, leaving an area between the U-Shaped buildings for a courtyard/seating area.



Staff Recommendation: Staff recommends the proposed setbacks as set forth by DPZ in the Draft Code. Mixed-Core | Multi-family & Non-Residential: FYS: 4' Max and Mixed Neighborhood | Multi-Family & Non-Residential: FYS 8' Max

Setback Encroachments: Deeper setbacks provide more flexibility for encroachments, while a 0' setback would eliminate the possibility of encroaching features, since these would extend into the right-of-way.



Staff Response: The photo to the left depicts a use with both a display window and outdoor display. Note the clothing rack is in line with the adjacent building. The building face is setback farther than the adjacent building, allowing for the encroachment of the window and the rack into the setback area.

Pictured Left is a building setback a distance from the right-of-way allowing for outdoor seating, encroaching into the setback.

Staff Recommendation: Staff recommends the ability for elements to encroach into the setback area be permitted, as proposed by DPZ. As per the recommendation of the Planning Commission, staff is not recommending projections into the right-of-way.



Impact of Setbacks on Streetscape Features: How do minimum and maximum setback standards influence the design of built elements like low seating walls or landscape features?



Staff Response:

Minimum setbacks prevent crowding; but limit built elements near the street unless exceptions are made. Minimums push elements back.

Setback **Maximums** pull buildings and features forward, encourages pedestrian friendly edges, like seating walls and landscaping.

Staff Recommendation: Staff recommends incorporating both minimum and maximum setbacks as proposed by DPZ.



Side Yard Setbacks and Fire Code Requirements: What are the implications of varying side yard setbacks between adjacent properties — for example, one property having a 0’ setback and the neighboring lot a 5’ setback? In such cases, when are firewalls or other fire separation measures typically required?



Staff Response:

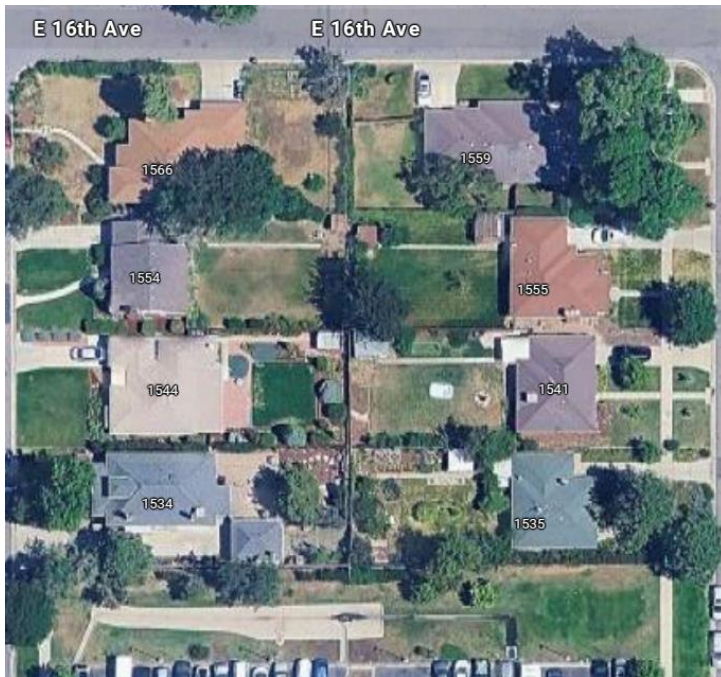
According to the Centre Region Code Agency Director, the International Building Code (IBC) addresses fire separation and safety requirements independently of zoning setbacks. The IBC ensures proper fire protection, even in cases where one property has a 0’ setback and the adjacent property differs, through required fire-rated construction or other safety measures.

Staff Recommendation: Staff supports and recommends the proposed 0’ and 5’ side-yard setbacks as presented by DPZ.

Rear Alley Setbacks: The current code references rear alley setbacks but does not specify dimensions.

Staff Response:

Establishing an appropriate rear-alley setback should consider factors such as alley width, access needs for garages or service areas, emergency vehicle clearance, and rear-facing buildings. The visuals below illustrate how setbacks function with and without alleys.



Staff Recommendation: Following extensive discussion, staff recommends establishing a consistent 6' rear setback for all structures adjacent to an alley.



Garages within Setbacks

Are garages allowed to be located within the setback areas? If so, under what conditions or exceptions is this typically permitted?

Staff Response:

Setback encroachments as discussed by the Planning Commission should be permitted for the elements discussed (roof overhangs, bay/bow windows, etc.). Garages and other structures are to remain within the buildable area and are not to encroach into setbacks.

Staff Recommendation: Staff recommends the proposed encroachments into the setback, such as roof overhangs, bay/bow windows, awnings, canopies, outdoor seating. Staff is not recommending projections into the right-of-way.



**COLLEGE TOWNSHIP COUNCIL
REGULAR MEETING MINUTES
Thursday, May 15, 2025 7:00 PM
1481 E. College Avenue, State College, PA 16801
Hybrid Meeting (In-Person or via Zoom)**

**ATTENDED BY -
COUNCIL**

L. Eric Bernier, Chair
Susan Trainor, Vice Chair
D. Richard Francke
Tracey Mariner

STAFF:

Mike Bloom, Assistant Township Manager
Don Franson, P.E., P.L.S., Township Engineer
Lindsay Schoch, AICP, Principal Planner
Amy Kerner, P.E., Public Works Director
Katy VanAmburg, Assistant Township Secretary

ABSENT:

Dustin Best, Council
Adam T. Brumbaugh, Township Manager/Secretary
Mark Gabrovsek, Zoning Officer

CALL TO ORDER: Mr. Eric Bernier, Council Chair, called to order the May 15, 2025, regular meeting of the College Township (CT) Council at 7:00 PM and led in the Pledge of Allegiance.

ANNOUNCEMENT: Chair Bernier announced that Council recessed into an Executive Session during their Worksession with Staff on May 14, 2025, to discuss a real estate matter.

PUBLIC OPEN DISCUSSION: No *Public Open Discussion* items brought forward.

NEW AGENDA ITEMS: No *New Agenda* items were added to the agenda.

SPECIAL

PRESENTATION: SP-1 CATA Local Match

Mr. David Rishel, Chief Executive Officer/Executive Director of Centre Area Transportation Authority (CATA), addressed Council with a presentation regarding the Local Match for 2025-2026, and an annual update on CATA services.

Mr. Rishel offered a breakdown of the CATA operating budget for 2025-2026, with a budget totaling \$29 million dollars. \$905 thousand dollars of the budget comes from the Local Match contribution. Contract revenue from Penn State University (PSU) is anticipated to be \$2.8 million dollars, with \$700 thousand dollars coming from their employee and student ride pass program. These funds are in addition to PSU's Local Match contribution.

Budget and annual highlights in 2025 include:

- A proposed fare increase of 14% for fixed routes and CATAGO! service
- Fixed route ridership increased by 3.5%
- Two (2) new summer trial routes are being operated – University Parkway (UP) Route and Happy Valley (HV) Route

- Youth Campaign, a summer ride pass program for youth ages 18 and under, is now free
- CATAGO! service expansion to the entire Centre Region
- Implemented a new micro-transit mobile phone app Via
- Discontinuing B-Line service to/from Bellefonte on June 30, 2025
- Celebrated CATA's 50 year Anniversary
- Implementing a new contactless fare system in August 2025 and phasing out tokens
- Negotiated a new insurance benefit contract with employees, saving over \$700 thousand annually
- Consolidating all current mobile apps three (3) into one (1) new mobile app
- Upgrades to bus stop signage, purchase of six (6) new buses and fifteen (15) on-demand buses
- Considering future service to State College Regional Airport (SCRA) and regional Amtrak rail service stations

Resolution R-25-13 certifies the provision of Local Match for State Operating Financial Assistance. CT will provide CATA local funds in the amount of \$79,338.69 to match state funds provided pursuant to 74 Pa. C.S. Section 1513 in fiscal year 2025-26. CT will pay quarterly payments of \$19,834.75. In addition to local operating funds, CT will provide capital funding of \$8,483.59 for the fiscal year, also paid in quarterly payments.

Mr. Joseph Davidson, CT Liaison to the CATA Board and Ms. Lori Miller, CATA Director of Business Development and Community Engagement, were also present to answer questions related to the presentation.

Mr. Rishel offered a \$2.1 million dollar deficit is built into the budget, and CATA anticipates spending 80-90% of their budget. He mentioned should a deficit occur, CATA has contingency funds to cover it.

Council and Staff offered their appreciation to Mr. Rishel, Mr. Davidson, and Ms. Miller for their presentation.

Chair Bernier moved the Consent Agenda to this point on the Agenda.

CONSENT AGENDA:

CA-1 Minutes, Approval of

- a. May 1, 2025 – College Township Council Regular Meeting Minutes

CA-2 Correspondence, Receipt/Approval of

- a. Email from Gina Leon dated April 30, 2025, regarding Casino Impact Study
- b. Email from John Rumbaugh dated April 30, 2025, regarding Brandywine Dr. traffic
- c. Email from Joan Bouchard dated May 1, 2025, regarding Casino Impact Study
- d. Email with articles from Dan Materna dated May 1, 2025, regarding Casino

CA-3 Action Item, Approval

- a. Appointments for Code Board of Appeals
- b. Proclamation P-25-02 – Recognizing May 2025 as Asian Pacific American Heritage Month
- c. Equipment Auction
- d. Request for fee waiver for at-door refuse service
- e. Resolution R-25-13 – CATA Local Match
- f. Appointment of Tad Rimmey to PC, with term ending December 31, 2029
- g.A ppointment of Jan Ulbrecht to UAJA, with term ending December 31, 2028

Ms. Trainor made a motion to approve the Consent Agenda minus CA-2.b. and CA-3.d.

**Ms. Mariner seconded the motion.
Motion carried unanimously.**

CA-2.b.: Ms. Trainor inquired about traffic concerns and speeding in the area of Brandywine Drive. Mr. Don Franson, P.E., P.L.S, Township Engineer, offered the speed study has concluded on Country Club Road, and counters will be placed along Brandywine Drive to collect data for the next several weeks.

CA-3.d.: Mr. Mike Bloom, Assistant Township Manager, offered this is the second fee waiver request CT has received from Ms. Shelly Mato at Centre Region Council of Governments (CRCOG). Residents are required to provide documentation of physical disability to CRCOG for consideration of at-door refuse collection service and fee waiver. Council inquired about why these requests are now being handled by the municipalities rather than CRCOG, and whether the waivers are associated with the Americans with Disabilities Act (ADA). Ms. Gretchen Brandt, State College Area School District (SCASD) liaison to CRCOG, offered the new regional refuse contract requires documentation of disability be submitted with these requests. Additionally, she inquired about who absorbs the additional fee - the municipality, CRCOG, or the hauler Burgmeiers? Mr. Bloom will reach out to Ms. Mato for clarification, and provide Council with an update at the next meeting.

**Mr. Francke made a motion to accept the Consent Agenda items CA-2.b. and CA-3.d. as part of the Consent Agenda.
Ms. Mariner seconded the motion.
Motion carried unanimously.**

**SPECIAL
PRESENTATION: SP-2 Mt. Nittany Conservancy**

Mr. Derek Kalp, Mt. Nittany Conservancy Board member, offered a Powerpoint presentation including maps and visuals about proposed future improvements to the Mt. Nittany trail, trailhead, and parking lot. The Board recently collaborated with a local landscape architect, Ms. Sarah Walter of Penn Trails and resident of Lemont, on a report showing the following goals:

- Realignment of the main trail to the overlook
- Relocation of the trailhead to the new parking area
- Formalize the parking lot layout
- Consider additional amenities to enhance the visitor experience

The presentation included two (2) trail realignment options with the following cost estimates:

- Option 1 - \$357,087.00
- Option 2 - \$1,235,747.00

Mr. Kalp noted improvements to the existing trail would cost approximately \$600,000.00.

Mr. Kalp identified the following as challenges and next steps:

- Private lands – obtain easements and/or acquire properties
- Grading, stormwater management, permitting, and zoning
- Financial resources – grants, donors, fund-raising
- CT support on all of the above points

Council supports the conceptual sketch plan and offered appreciation to Mr. Kalp for his presentation.

REPORTS:

a. Manager's Update

In Mr. Brumbaugh's absence, Mr. Bloom offered the Manager's Update report as presented. He noted in regards to the Solar Power Purchase Agreement (SPPA), Prospect14 has chosen a location in Clarion County. Regarding the Path to Campus project, Staff met with Keller Engineering to discuss preliminary routing. Convergence Strategy Group (CSG) has been chosen as the consultant to conduct the Casino Impact Study, and they have already spent some time in CT and the State to understand current conditions.

b. COG Regional, County, and Liaison Reports

COG Facilities Committee: Mr. Francke reported the COG Facilities Committee met on May 6, 2025. The committee discussed reclassifying the Facilities Administrator position to Facility Manager, reviewed the 2026 Strategic Guide to Services and Investments (SGSI) capital investments, reviewed asset and facility management documentation, reviewed the COG maintenance and asset management agreement, and heard an update on the 2025 capital projects.

COG Human Resources Committee: Ms. Mariner reported the COG HR Committee met on May 7, 2025. The committee reviewed metrics for identifying staffing and hiring needs, voted on updates to three (3) different HR software programs, and discussed the addition and elimination of numerous positions within COG. Ms. Mariner will forward the COG HR metrics to Staff for review, and they will be added as an agenda item for a future meeting.

COG Finance Committee: Mr. Francke reported the COG Finance Committee met on May 8, 2025. The committee discussed the economic impacts to COG as a result of recent actions by the PA State and US Federal Governments, finalized the budget timeline, and reviewed the Fund Balance Policy. Mr. Francke noted there is a shortage in COG operation funds.

COG Climate Action and Sustainability Committee (CAS): Ms. Trainor reported the COG CAS Committee met on May 12, 2025. The committee heard updates about changes to staffing/positions within COG, discussed funding fees associated with additional refuse collection of food waste from recent power outages - two hundred fifty (250) residents were affected, and heard updates about the Community Stewardship Network.

COG Public Safety Committee: Ms. Trainor reported the COG Public Safety Committee met on May 13, 2025. The committee discussed budget requests and staffing/positions at Centre Region Code Administration (CRCA), and discussed funding changes to Emergency Management Services.

Mr. Bernier reported the May COG Executive Committee and COG General Forum meetings have both been canceled, and he noted himself and Ms. Brandt will attend the Climate Symposium at PSU on May 16, 2025.

Mr. Francke noted he attended the joint meeting of Centre Region Parks and Recreation (CRPR) and Parks Capital Committee on May 15, 2025. The topics discussed included the wood pedestrian bridge and streambank stabilization project at Millbrook Marsh Nature Center, the Oak Hall well lease agreement, the Centre Region Active Adult Center, Columbia Gas easement work at Spring Creek Park, and the Hess softball complex Master Plan.

c. Staff/P.C./Other Committee Reports

CT Planning Commission (PC): Mr. Matthew Fenton, PC Vice Chair, offered that PC met on May 6, 2025, and continued discussions on Form Based Code (FBC) in the Dale Summit area. Mr. Bloom noted the committee will focus next on lot width and setbacks.

CT Parks and Recreation Committee: Ms. Janet Sulzer, CT Parks and Recreation Committee Chair, offered the committee did not meet in May. She noted the annual parks tour is scheduled for June 9, 2025, starting at 6PM and leaving from the Township parking lot. The committee will visit several parks in CT.

CT 150th Sesquicentennial Committee (CTSC): Mr. Bloom offered the Barn Dance is being held on May 17, 2025 from 6-9 PM. Ms. Schoch noted this is a free community event and will include contra dancing, yard games, face painting, and food trucks.

d. Diversity, Equity, Inclusion & Belonging Reports (Public invited to report)

Mr. Bloom offered a DEIB update that included the following:

- Proclamation P-25-02 recognizing May as Asian American – South Pacific Islander Heritage Month
- A Unity Walk is being held May 24, 2025 from 2:30-3:30 PM, hosted by the Centre County Pearls of PA. The organization is looking for a CT representative to attend. Council was provided with the invitation.

OLD BUSINESS: OB-1 Comprehensive Plan – Land Use Map

Mr. Bloom offered COG General Forum was presented with a proposed three-phase approach to updating the Future Land Use Map as part of the Centre Region Comprehensive Plan update. Centre Regional Planning Agency (CRPA) is asking for feedback from each municipality about how they want to be involved with the formation of the Future Land Use Map.

Council discussed and agreed that the CT Land Use and Community Infrastructure (LUCI) representative, Mr. Best, will engage in future discussions regarding the Land Use Map. Mr. Bloom will inform Ms. Pam Adams, CRPA Planning Director, of Council's response.

OB-2 Solicitation Ordinance Update

Mr. Bloom offered a memorandum dated May 12, 2025, outlining proposed updates to Chapter 171 of the CT Code, specifically Article 1 – Solicitors and Temporary Businesses, to include an annual No Solicitation (No Knock) list. Council previously discussed this proposed amendment at their April 3, 2025 meeting.

The following implementation recommendations were presented:

- Launch registration for the No Knock List on Monday, June 2, 2025, with registration being subject to annual renewals.
- Notify all current and future solicitation permit holders of the new No Knock List:
 - Inform them that it is their responsibility to monitor weekly updates to the No Knock List prior to conducting any solicitation efforts
 - Sharing any relevant exceptions
 - Modify solicitation permit to include language about the No Knock List

- Utilize a Survey 123 form on the CT website as the primary way to collect the following necessary information from registrants:
 - Name
 - Street Address
 - Email Address
- Provide the No Knock List publicly through the website, listing only street addresses. Resident name and email address are required strictly for the purpose of sending reminders about the annual renewal.
- Updating and public posting of No Knock List to be completed by Staff on a weekly basis.

Council agrees with the proposed implementation recommendations.

Ms. Trainor made a motion to approve the amendment to Chapter 171 of the College Township Code, Article 1 - Solicitors and Temporary Businesses, to incorporate an annual No Solicitation (No Knock) List with list registration opening on Monday, June 2, 2025.

Ms. Mariner seconded the motion.

Motion carried unanimously.

OB-3 DRI – Clearwater Conservancy

Ms. Lindsay Schoch, AICP, Principal Planner, offered a memorandum dated May 8, 2025, outlining the Clearwater Conservancy’s Development of Regional Impact (DRI) request for the development of a Conservation and Education Center. The proposed facility is located outside the Regional Growth Boundary/Sewer Service Area (RGB/SSA), triggering the need for a DRI process per the Centre Region Implementation Agreement.

In addition to the memorandum, Council received the DRI report – revised March 2025, Developer’s Agreement, CRPC comments on the DRI, and a DRI “Lite” process flowchart, for their review.

Land Development Plan (LDP) Status:

1. On December 17, 2024, the CT PC recommended conditional approval of the LDP for the Clearwater Conservancy project, contingent upon successful completion of the DRI process.
2. On January 16, 2025, Council conditionally approved the LDP, also contingent upon final approval of the DRI request.

DRI Status:

3. Clearwater Conservancy prepared and submitted a DRI report to the CRPA.
4. The CRPA deemed the report complete and provided a formal review and recommendation to CT for consideration by both the PC and Council.
5. The PC reviewed the DRI and made the following recommendations:
 - If the on-site well cannot meet fire suppression requirements, Clearwater must connect to the College Township Water Authority’s (CTWA) public water system.

- The DRI report must be updated with information and comments from the University Area Joint Authority (UAJA).

6. Council has the authority to include Findings of Fact in support of its review and ultimate decision regarding the DRI.

DRI Supporting Framework:

7. CT is operating under the 2023 Centre RGB/SSA Implementation Agreement, which allows municipalities some flexibility in RGB/SSA expansions.

8. Specifically, Section 5 of the Agreement outlines a DRI “Lite” process, which permits municipalities to expand the RGB/SSA by up to 50 Equivalent Dwelling Units (EDUs) and 12 acres over a five-year period, without requiring approval from all Centre Region Municipalities.

9. The PC and Council determined that the DRI has merit, then request was forwarded to the Centre Regional Planning Commission (CRPC), for their advisory review and recommendation.

10. CT received CRPC’s input, and Council may now move forward with formal action. This includes the preparation of a Developer’s Agreement, which will ensure that the property is developed and used exclusively for the purposes outlined in the DRI submission.

**Ms. Mariner made a motion to approve the Clearwater Conservancy’s DRI and authorize the Council Chair to execute the Developer’s Agreement between Clearwater Conservancy and the Township.
Mr. Francke seconded the motion.
Motion carried unanimously.**

Council offered their appreciation to Ms. Schoch and Staff for successfully executing the DRI “Lite” process.

NEW BUSINESS: NB-1 Slab Cabin Master Plan Grant

Ms. Amy Kerner, P.E., Public Works Director, offered a memorandum dated May 12, 2025, detailing the proposed development of a new Master Plan for Slab Cabin Park in 2026 and subsequent grant funding. The proposed Master Plan is estimated to cost \$60,000 and would be completed using consultant services.

To offset the costs of the project, Staff is requesting Council’s authorization to pursue a Greenways, Trails and Recreation Program (GTRP) grant through the Commonwealth Financing Authority during the 2025 application cycle, which closes on May 31, 2025. The GTRP program utilizes funding through the Marcellus Legacy Fund for the purposes of planning, acquisition, development, rehabilitation and repair of greenways, trails, open spaces, parks and community beautification projects. The GTRP program only requires a local match of 15% of the total project cost, as opposed to the 50% required under DCNR Community Conservation Partnership Program (C2P2).

In order to pursue the GTRP grant, Staff would need Council to consider approval of the following:

- Resolution R-25-12, indicting the Township’s intent to apply for the GTRP funds and designating the Township Manager with signing authority.
- A \$9,000 (minimum) local match in College Township’s 2026 operating budget.

**Ms. Mariner made a motion to approve Resolution R-25-12 and include a \$9,000 minimum local match in CT's 2026 operating budget.
Ms. Trainor seconded the motion.
Motion carried unanimously.**

STAFF

INFORMATIVES: **SI-1** **May 2025 EZP Update**

 SI-2 **April 2025 OEO Report**

No *Staff Informatives* pulled for discussion.

COUNCIL/STAFF OTHER MATTERS:

Mr. Bernier offered the Pennsylvania Municipal League (PML) Municipal Leadership Summit will be held in Erie in October, and CT will send two (2) representatives. Mr. Best offered to attend in Mr. Francke's absence, and Mr. Brumbaugh will attend.

Ms. Mariner noted in regards to the replacement of the historic street signs in Lemont, she supports the efforts of preserving history in the Village of Lemont, however, felt the request was not appropriate for this year's budget.

ADJOURNMENT

Chair Bernier called for a motion to adjourn the meeting.

**Ms. Mariner moved to adjourn the May 15, 2025 Regular College Township Council meeting.
Mr. Francke seconded the motion.**

The May 15, 2025 Regular College Township Council meeting was adjourned at 9:17 PM.

Respectfully submitted,

Adam T. Brumbaugh

Adam T. Brumbaugh
Township Secretary
